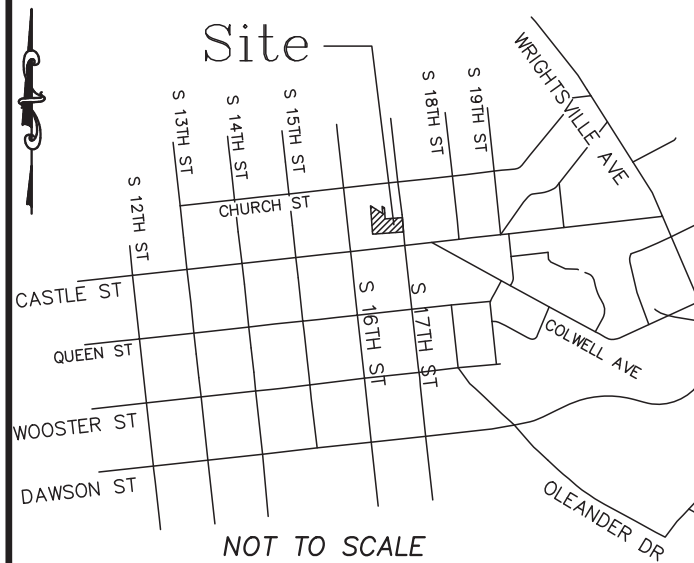


**LOCATION MAP**



CONSTRUCTION DRAWINGS for  
**STUDIO 17 APARTMENTS**

LOCATED IN CITY OF WILMINGTON  
 NEW HANOVER COUNTY, NORTH CAROLINA

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**Approved Construction Plan**

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services Engineering Division  
 APPROVED DRAINAGE PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_

**GENERAL NOTES:**

1. NEW HANOVER COUNTY PARCEL NUMBERS: PID = R05407-029-012-000
2. TOTAL PROJECT AREA: 261,125 SF (0.65 AC.)
3. EXISTING ZONING DISTRICT: UMX
4. LAND CLASSIFICATION: URBAN
5. THIS SITE IS LOCATED WITHIN ZONE "X" ACCORDING TO FEMA FIRM COMMUNITY PANEL NUMBER 3720312700J, EFFECTIVE DATE 4/3/06
6. SITE ADDRESS: 514 S. 17TH STREET
7. EXISTING IMPERVIOUS ONSITE = 11,180 SF
8. ASBUILT BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED AND PROVIDED TO CSD ENGINEERING BY CAPE FEAR SURVEYING; VERTICAL DATUM = 88
9. STORMWATER DRAINS TO BURNT MILL CREEK, C,SW 18-74-63-2

**WATER & SEWER USAGE NOTES:**

CURRENT WATER USAGE 50 GPD PROPOSED WATER USAGE 7,730 GPD  
 CURRENT SEWER USAGE 50 GPD PROPOSED SEWER USAGE 7,730 GPD

WATER - (32) - 1 BEDROOM X 240 GPD = 7,680 GPD  
 RETAIL - 2 EMPLOYEES = 50 GPD

SEWER - (32) - 1 BEDROOM X 240 GPD = 7,680 GPD  
 RETAIL - 2 EMPLOYEES = 50 GPD



WATER (PUBLIC)			
SIZE	6"	4"	3"
TYPE	C-900	C-900	SDR-21
LF	8	5	3

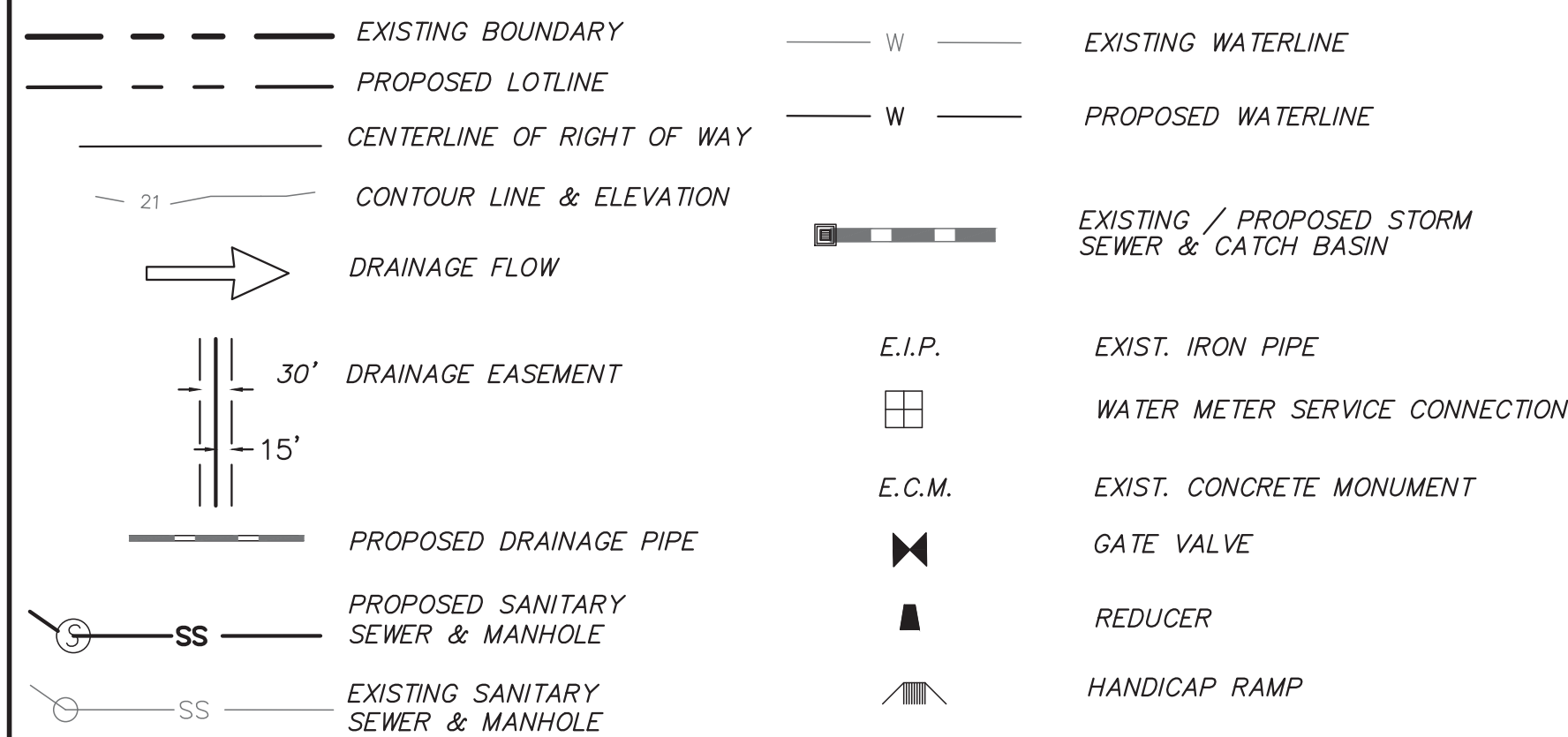
WATER (PRIVATE)			
SIZE	6"	3"	2"
TYPE	C-900	SDR-21	SDR-21
LF	135	132	235

SEWER (PRIVATE)			
SIZE	6"	6"	
TYPE	C-900	DIP	
LF	154	20	

**INDEX TO DRAWINGS**

SHEET No.	DESCRIPTION	DRAWING No.
1 OF 12	COVER SHEET	CD_COVER
2 OF 12	EXISTING BOUNDARY AND TOPOGRAPHY, ADJACENT TRAFFIC	CD_EX-COND
3 OF 12	SITE PLAN	SITE_PLAN
4 OF 12	CITY OF WILMINGTON CONSTRUCTION DETAILS	SP_DET-1
5 OF 12	CITY OF WILMINGTON CONSTRUCTION DETAILS	SP_DET-2
6 OF 12	UTILITY PLAN	UP
7 OF 12	GRADING PLAN	GRADING
8 OF 12	CFPUA INSTALLATION DETAILS	CFPUA_WAT_SEW_1
9 OF 12	CFPUA INSTALLATION DETAILS	CFPUA_WAT_SEW_2
10 OF 12	CFPUA WATER DETAILS	CFPUA_WATER
11 OF 12	CFPUA SEWER DETAILS	CFPUA_SEWER_1
12 OF 12	CFPUA SEWER DETAILS	CFPUA_SEWER_2
LP1 OF LP1	LANDSCAPING PLAN	LP
1 OF 3	NCDOT ENCROACHMENT PLAN	DOT_ENCR
2 OF 3	NCDOT TRAFFIC CONTROL PLAN	DOT_TCP
3 OF 3	NCDOT STANDARD DETAILS	DOT_DET

**LEGEND**



**OWNER: MOSLEY PARK, LLC**  
 1319 MILITARY CUTOFF  
 SUITE CC PMB 172  
 WILMINGTON, NC 28405

**NOTES:**

1. ASBUILT, BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED AND PROVIDED TO CSD ENGINEERING BY CAPE FEAR SURVEYING; 1 NORTH 6TH STREET WILMINGTON, NC 28401, 910-762-9496 FIRM #C-3199
2. THIS MAP IS NOT FOR CONVEYANCE, RECORDATION, OR SALES.
3. THIS PROPERTY IS LOCATED WITHIN ZONE "X" ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP, 3720312700J, EFFECTIVE DATE 4/3/06
4. THIS PROPERTY IS ZONED UMX
5. CFPUA WATER
6. CFPUA SEWER
7. ALL CONSTRUCTION TO CONFORM TO NEW HANOVER COUNTY STANDARDS AND APPLICABLE STATE & LOCAL CODES.
8. CONTRACTOR TO COORDINATE ANY REQUIRED TRAFFIC CONTROL WITH CITY OF WILMINGTON AND OR NCDOT.
9. CARE SHALL BE TAKEN DURING FINAL GRADING TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND TO RECEIVING STRUCTURES. ROOF DRAIN DOWNSPOUTS TO BE CONNECTED TO STORM DRAINAGE STUBOUTS OR DIRECTED TO STREET/PARKING AREAS.
10. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY RELOCATIONS, RE-ALIGNMENTS, DISCONNECTIONS OR CONNECTIONS OF EXISTING UTILITIES WITH APPLICABLE AUTHORITIES.
11. CLEARING AND GRUBBING OF SITE TO INCLUDE REMOVAL OF EXISTING CURB, ASPHALT, INLETS, AND ANY OTHER STRUCTURES INCLUDING TREES, STUMPS AND DEBRIS EXISTING ON SITE. TREES NOT REQUIRED TO BE CLEARED FOR CONSTRUCTION SHALL REMAIN UNLESS OTHERWISE DIRECTED.
12. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES AT ALL CROSSINGS PRIOR TO COMMENCING TRENCH EXCAVATION. IF ACTUAL CLEARANCES ARE LESS THAN INDICATED ON PLAN, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. ANY CONDITION DISCOVERED OR EXISTING THAT WOULD NECESSITATE A MODIFICATION OF THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
13. NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NC ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION.
14. CONTRACTOR SHALL ADJUST ALL MANHOLES, VALVE & CURB BOXES TO FINAL GRADE UPON COMPLETION OF ALL CONSTRUCTION. ANY BOXES DAMAGED OR OTHERWISE DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
15. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST AND EROSION DURING CONSTRUCTION AT HIS EXPENSE. PARKING AREAS SHALL BE WATERED TO CONTROL DUST WHEN ORDERED BY THE ENGINEER.
16. NO GEOTECHNICAL TESTING HAS BEEN PERFORMED ON SITE. NO WARRANTY IS MADE FOR SUITABILITY OF SUBGRADE, AND UNDERCUT AND ANY REQUIRED REPLACEMENT WITH SUITABLE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
17. CONTRACTOR TO ENSURE THAT PAVEMENT IS PLACED SO AS TO DRAIN POSITIVELY TO THE STREET INLETS AND CATCH BASINS. ALL FUTURE ROOF DRAIN DOWNSPOUTS TO BE DIRECTED TO THE STORM DRAINAGE STUBOUTS.
18. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
19. THIS PLAN IS FOR SITE GRADING, UTILITIES, SITING, AND DRAINAGE ONLY. SEE BUILDING PLANS FOR DETAILED HOOKUPS TO BUILDINGS, ETC.
20. CONTRACTOR AND BUILDER ARE RESPONSIBLE FOR COORDINATING FINISHED FLOOR ELEVATION OF ALL BUILDINGS WITH THE OWNER. ELEVATIONS GIVEN ARE MINIMUM GROUND ELEVATIONS AT THE BUILDING SITE AND DO NOT PURPORT TO BE FINISHED FLOOR. MINIMUM RECOMMENDED FF ELEVATIONS SHOWN ON PLANS.
21. AFFECTED NON-MUNICIPAL UTILITIES SHALL BE CONTACTED AND PROVIDED WITH PLANS AND OTHER PERTINENT INFORMATION, WHEN FEASIBLE, TO COORDINATE APPROPRIATE SCHEDULING AND PLACEMENT.
22. EXTREME CARE SHALL BE TAKEN TO ENSURE MINIMUM SEPARATIONS AT ALL UTILITY CROSSINGS.
23. MINIMUM SEPARATION SHALL BE MAINTAINED AS FOLLOWS:
  - a. HORIZONTAL SEPARATION OF 10 FEET BETWEEN SANITARY SEWER AND WATER MAINS AND STORM SEWER.
  - b. WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND WATER OR WHERE SEWER LINE CROSSES ABOVE WATER MAIN, BOTH PIPES SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING.
  - c. WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10 FEET EITHER SIDE OF CROSSING.
  - d. WHERE VERTICAL CLEARANCE IS LESS THAN 12" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING, AND BRIDGING SHALL BE INSTALLED PER APPLICABLE UTILITY AUTHORITY'S DETAILS.
  - e. IN NO CASE SHALL THERE BE LESS THAN 18" OF SEPARATION BETWEEN OUTSIDE OF WATER MAIN AND OUTSIDE OF SEWER OR STORM DRAINAGE.
  - f. MINIMUM COVER OF 36" SHALL BE PROVIDED FOR ALL BURIED WATER MAINS AND SANITARY SEWER MAINS.
24. SEE DETAIL SHEETS FOR TYPICAL UTILITIES HOOKUPS.
25. ALL SANITARY SEWER MAINS TO BE 8" UNLESS OTHERWISE INDICATED.
26. ALL WATER MAINS TO BE 8" UNLESS OTHERWISE INDICATED.
27. TWO VALVES ARE REQUIRED AT "T" INTERSECTIONS AND ONE VALVE ON THE WATER LINE TO FIRE HYDRANTS.
28. A BLOW-OFF VALVE IS REQUIRED AT THE TERMINUS OF ALL "DEAD END" WATER LINES.



LICENSE # C-2710  
 ENGINEERING  
 LAND PLANNING  
 COMMERCIAL / RESIDENTIAL

P.O. BOX 4041  
 WILMINGTON, NC 28406  
 (910) 791-4441

COVER SHEET  
 STUDIO 17 APARTMENTS

COVER SHEET FOR  
 STUDIO 17 APARTMENTS  
 LOCATED IN CITY OF WILMINGTON  
 NEW HANOVER COUNTY, NORTH CAROLINA  
 OWNER: MOSLEY PARK, LLC  
 1319 MILITARY CUTOFF  
 SUITE CC PMB 172  
 WILMINGTON, NC 28405



REV.	DATE	BY	REMARKS
7	2-10-20	MRB	REVISED BUILDING 3 AND SIDEWALK
6	2-26-19	MRB	REVISED WATER/FIRE MAIN LOCATION & WATER MAIN SIZE
5	1-18-19	MRB	REVISED SHEET NUMBERING PER NEW CFPUA DETAILS
4	7-11-18	MRB	REVISED SEWER MAIN TABLES
3	5-29-18	MRB	REVISED WATER MAIN TABLES
2	5-7-18	MRB	REVISED WATER TRC COMMENTS
1	3-21-18	MRB	REVISED TRC COMMENTS

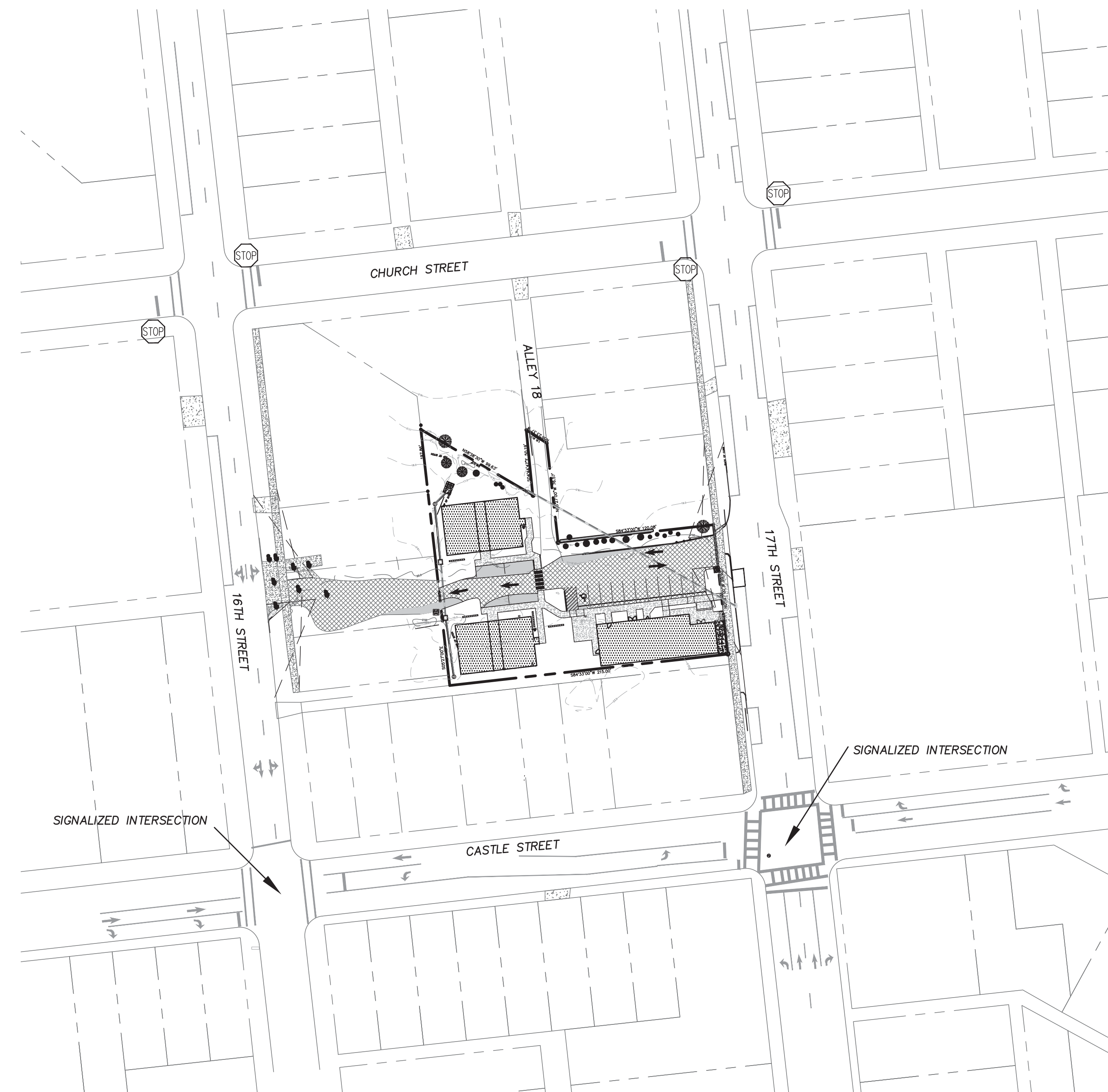
DATE: 1-22-18  
 HORZ. SCALE: 1" = 200'  
 VERT. SCALE: N/A  
 DRAWN BY: MRB  
 CHECKED BY: HSR  
 PROJECT NO.: 17-0434



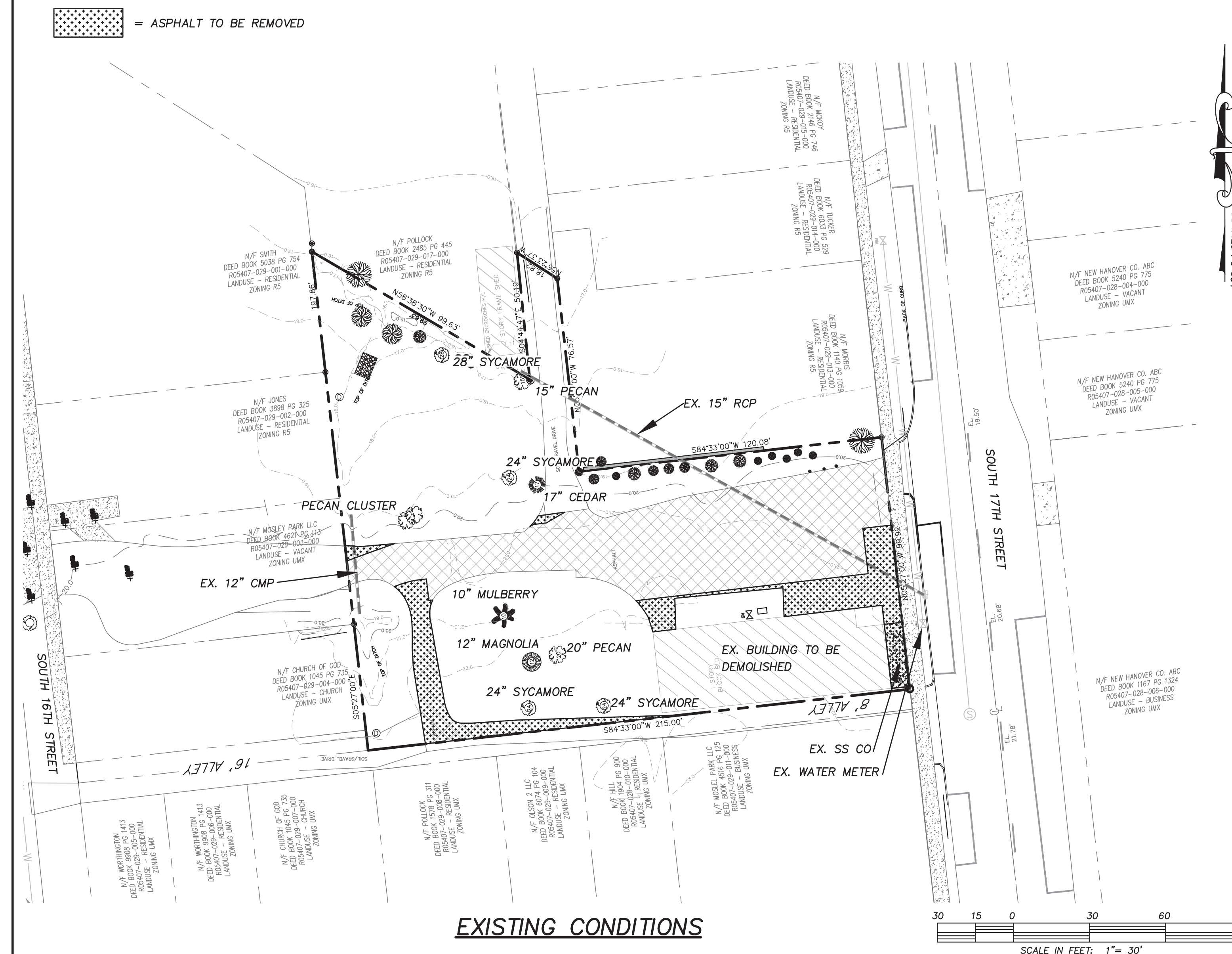
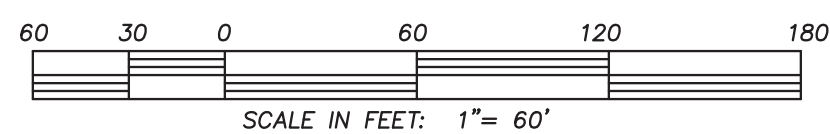
**Approved Construction Plan**

Name \_\_\_\_\_ Date \_\_\_\_\_  
Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_

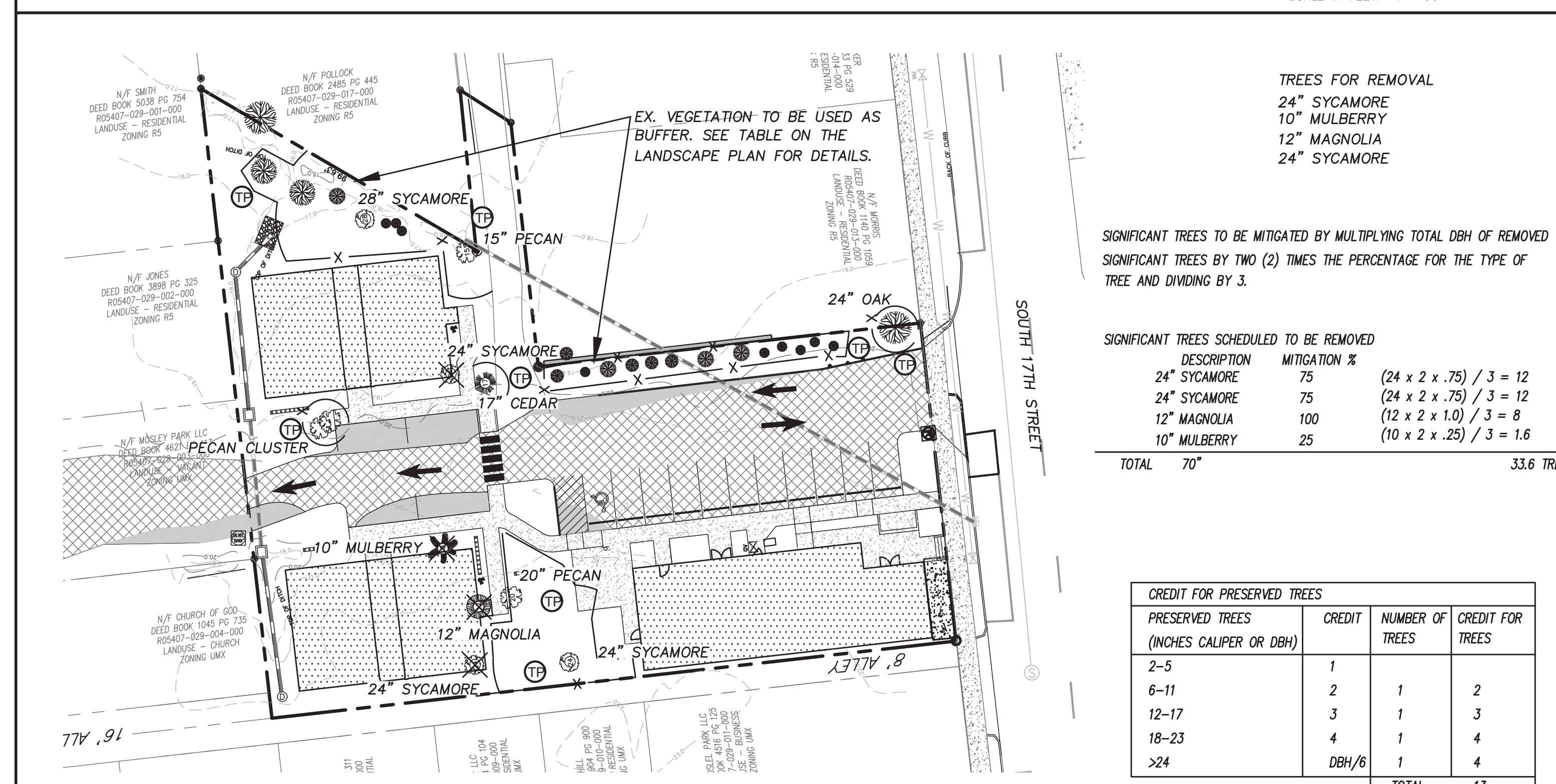
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



**ADJACENT TRAFFIC PATTERNS**



**EXISTING CONDITIONS**



**EXISTING TREES**

**TREES FOR REMOVAL**

- 24" SYCAMORE
- 10" MULBERRY
- 12" MAGNOLIA
- 24" SYCAMORE

EX. VEGETATION TO BE USED AS BUFFER. SEE TABLE ON THE LANDSCAPE PLAN FOR DETAILS.

SIGNIFICANT TREES TO BE MITIGATED BY MULTIPLYING TOTAL DBH OF REMOVED SIGNIFICANT TREES BY TWO (2) TIMES THE PERCENTAGE FOR THE TYPE OF TREE AND DIVIDING BY 3.

DESCRIPTION	MITIGATION %
24" SYCAMORE	$(24 \times 2 \times .75) / 3 = 12$
24" SYCAMORE	$(24 \times 2 \times .75) / 3 = 12$
12" MAGNOLIA	$(12 \times 2 \times 1.0) / 3 = 8$
10" MULBERRY	$(10 \times 2 \times .25) / 3 = 1.6$
<b>TOTAL</b>	<b>70"</b>

33.6 TREES

**CREDIT FOR PRESERVED TREES**

PRESERVED TREES (INCHES CALIPER OR DBH)	CREDIT	NUMBER OF TREES	CREDIT FOR TREES
2-5	1		
6-11	2	1	2
12-17	3	1	3
18-23	4	1	4
>24	DBH/6	1	4
<b>TOTAL</b>			<b>13</b>

TP = TREE PROTECTION



**CSD ENGINEERING**  
LICENSE # C-2710  
ENGINEERING  
LAND PLANNING  
COMMERCIAL / RESIDENTIAL  
P.O. BOX 4041  
WILMINGTON, NC 28406  
(910) 791-4441

EXISTING CONDITIONS  
**STUDIO 17 APARTMENTS**

EXISTING CONDITIONS FOR  
**STUDIO 17 APARTMENTS**  
LOCATED IN CITY OF WILMINGTON  
NEW HANOVER COUNTY, NORTH CAROLINA  
OWNER: MOSLEY PARK, LLC  
SUITE CC PMB 172  
WILMINGTON, NC 28405

NOT RELEASABLE  
2-10-2020  
FOR CONSTRUCTION

REV.	DATE	BY	REMARKS
2-10-20			
1-18-19			
7-17-18			
6-19-18			
5-29-18			
5-24-18			
5-21-18			
3-21-18			

DATE: 1-22-18  
HORZ. SCALE: AS NOTED  
VERT. SCALE: N/A  
DRAWN BY: MRB  
CHECKED BY: HSR  
PROJECT NO.: 17-0434



**SITE & BUILDING DATA:**

TOTAL LOT AREA = 28,125 SF (0.65 AC.)  
 PROPERTY ADDRESS IS 514 S 17TH STREET  
 PID = R05407-029-012-000  
 EXISTING ONSITE DATA:  
 EXISTING BUILDINGS ON SITE = 2,878 SF (FOOTPRINT)  
 EXISTING ASPHALT = 8,302 SF  
 TOTAL = 11,180 SF  
 EXISTING IMPERVIOUS  
 PROPOSED IMPERVIOUS  
 PROPOSED BUILDINGS = 4,499 SF (FOOTPRINT)  
 PROPOSED ASPHALT & CURBING = 1,241 SF  
 PROPOSED SIDEWALKS = 2,479 SF  
 TOTAL = 8,219 SF  
 EXISTING IMPERVIOUS TO REMAIN  
 NEW BUILDING = 2,742 SF (FOOTPRINT)  
 (WITHIN EX. BUILDING FOOTPRINT)  
 EXISTING ASPHALT = 5,977 SF  
 TOTAL = 8,719 SF  
 EXISTING ONSITE IMPERVIOUS TO BE REMOVED = 2,325 SF  
 OFFSITE IMPERVIOUS TO BE ADDED = 372 SF  
 SOIL GROUPS ONSITE  
 L0 - LEON-URBAN LAND  
 SCS SOIL GROUP "A/D" PER USDA SOIL SURVEY WEB SITE  
 BUILDING DATA:  
 NUMBER OF BUILDINGS = 3  
 BUILDING 1: (12) - 1 BEDROOM UNITS  
 BUILDING 2: (12) - 1 BEDROOM UNITS  
 EX. BUILDING: (8) - 1 BEDROOM UNITS  
 TOTAL UNITS = 32  
 SF PER FLOOR  
 BUILDINGS 1 & 2:  
 1ST FLOOR = 2,230 SF  
 2ND FLOOR = 2,230 SF  
 3RD FLOOR = 2,230 SF  
 EXISTING BUILDING:  
 1ST FLOOR = 2,742 SF  
 2ND FLOOR = 2,742 SF  
 3RD FLOOR = 2,742 SF  
 BUILDING HEIGHT = 35 FT  
 NUMBER OF STORIES = 3  
 BUILDING TYPE = V SPRINKLED  
 BUILDING USE = APARTMENTS  
 BUILDING AREA: 7,241 SF (FOOTPRINT)  
 LOT COVERAGE: 7,241 SF / 28,125 SF = 0.26  
 PROPOSED 26% BUILDING LOT COVERAGE  
 BUILDING SETBACKS:  
 REQUIRED SETBACKS PROPOSED SETBACKS  
 UNX - ABUTTING RS FRONT SETBACK: 0 FT, 5 FT FRONT SETBACK: 7.1 FT  
 SIDE SETBACK: 0 FT, 5 FT SIDE SETBACK: 7.5 FT, 8.5 FT  
 REAR SETBACK: 0 FT, 5 FT REAR SETBACK: 8.1, 9.5 FT

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services Engineering Division  
 APPROVED DRAINAGE PLAN  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

**Approved Construction Plan**  
 Name \_\_\_\_\_ Date \_\_\_\_\_  
 Planning \_\_\_\_\_  
 Traffic \_\_\_\_\_  
 Fire \_\_\_\_\_

**TRAFFIC ENGINEERING NOTES:**

- A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO RECORDING OF THE FINAL PLAT. PLAN SHALL ADHERE TO SD 15-17.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCO STANDARDS.
- OPEN CUT NOTES:  
 A. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 910-341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.  
 B. CONTRACTOR TO COORDINATE WITH CITY OF WILMINGTON FOR ACCEPTABLE HOURS OF CONSTRUCTION AND TRAFFIC CONTROL DURING INSTALLATION OF UTILITIES IN CITY ROADS.  
 C. SUFFICIENT COMPACTION AND APPROVED STONE & BASE COURSES TO BE INSTALLED IN PLACE OF OPEN CUT.  
 D. OPEN CUT TO BE SAW CUT.  
 E. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS OF WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR MUTCO STANDARDS.  
 F. IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.  
 G. CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.  
 H. TRAFFIC WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.  
 I. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.  
 J. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCO STANDARDS.  
 K. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREA SHALL BE WHITE.  
 L. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.  
 M. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30 INCHES - 10 FT.  
 N. CONTACT TRAFFIC ENGINEERING AT 341-7888 48 HOURS PRIOR TO ANY EXCAVATION IN THE ROW.

**ENVIRONMENTAL NOTES:**

- NO LAND DISTURBANCE IS PERMITTED OUTSIDE THE DESIGNATED LIMITS OF DISTURBANCE FOR SITE IMPROVEMENTS OTHER THAN WHAT IS NECESSARY TO THE INTO EXISTING CONTOURS OR MEET LANDSCAPING REQUIREMENTS.

**DEVELOPMENT NOTES:**

- ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCO STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION. CALL 341-41000 AT 1-800-432-4848. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB AND CUTTER, SIDEWALK PANELS, PAVEMENT, ETC., THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE SAME QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
- EACH UNIT WILL UTILIZE COW HAND TOTES FOR SOLID WASTE DISPOSAL. TOTES WILL BE STORED IN A DUMPSTER TOTE CORRAL.
- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON ZONING ORDINANCE & SUBDIVISION REGULATION.
- APPROVAL OF SITE PLAN DOES NOT CONSTITUTE APPROVAL OF PROPOSED SIGNAGE FOR THIS SITE. A SEPARATE SIGN PERMIT MUST BE OBTAINED.
- APPLICABLE STREET FRONTAGES SHALL HAVE NATURAL VEGETATIVE SCREENING MEETING CITY REQUIREMENTS.
- THE DEVELOPMENT SHALL COMPLY WITH ALL CITY TECHNICAL STANDARDS AND DEVELOPMENT REGULATIONS.
- PRIMARY BUILDING ENTRANCES SHALL BE CLEARLY DEFINED AND SHALL BE RECESSED AT LEAST FIVE FEET OF FRAMED BY AN ARCHITECTURAL ELEMENT. PRIMARY ENTRANCES SHOULD BE CLEARLY DISTINCTIVE FROM OTHER ENTRANCES. SECONDARY OUTSIDE BUILDING ENTRANCES TO UPPER FLOORS ON THE PRIMARY FACADE SHALL ALIGN WITH THE OUTER MOST WINDOW ON THE FRONT FACADE.
- IF UNITS ARE SOLD AT ANY POINT, THE BUYER MUST RECEIVE A SUBDIVISION STREET DISCLOSURE STATEMENT.

**FIRE & LIFE SAFETY NOTES:**

- LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE FIRE HYDRANTS OR FDC'S. A 3FT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT.
- CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE FIRE LINE PERMIT FROM COW FIRE AND LIFE SAFETY DIVISION, 910-343-0696.
- IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT. NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERED TO THE JOB SITE.
- HYDRANTS MUST BE WITHIN 150 FT OF THE FDC (MEASURED AS THE TRUCK DRIVES).
- FDC MUST BE WITHIN 40 FT OF FIRE APPARATUS PLACEMENT.
- ALL ISOLATION VALVES WITH THE "HOT BOX" MUST BE ELECTRICALLY SUPERVISED.

**UTILITY NOTES:**

- PROJECT SHALL COMPLY WITH THE CITY OF WILMINGTON AND CPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE SET AND ACTIVATED ON NEW MAINS UNTIL ALL REQUIREMENTS ARE MET. CALL 343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES WATER FOR CONSTRUCTION HE/SHE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ALL COMMERCIAL WATER SERVICES AND ANY IRRIGATION SYSTEMS SUPPLIED BY CPWA WATER SHALL HAVE A BACKFLOW PREVENTION DEVICE ACCEPTABLE TO THE CPWA AND APPROVED BY USFCCOHR OR ASSE. CALL 799-6064 FOR INFORMATION.
- WHEN FIRE WATER MAINS AND/OR POLYETHYLENE SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED COPPER WIRE INSTALLED THE ENTIRE LENGTH AND STRAPPED TO THE PIPES WITH DUCT TAPE. THE INSULATED WIRE IS TO BE STRIPPED TO BARE WIRE AND SECURED TO ALL VALVES AND FITTINGS. THE WIRE IS TO BE ACCESSIBLE AT ALL FIRE HYDRANTS AND WATER METER BOXES TO 48 IN FUTURE LOCATION OF FACILITIES.
- 36" MINIMUM COVER OVER ALL WATER MAINS.
- ANY SEPARATE CONNECTION FOR IRRIGATION SHALL COMPLY WITH CITY AND CPWA CROSS-CONNECTION REQUIREMENTS WITH APPROVED BACKFLOW PREVENTION DEVICES.
- AT LOCATIONS WHERE WATER MAIN CROSSES UNDER SANITARY SEWER, DUCTILE IRON PIPE SHALL BE USED ALONG WITH PROVIDING 24" MINIMUM OF VERTICAL SEPARATION.
- WATER SERVICES CAN NOT BE ACTIVATED ON NEW WATER MAINS UNTIL ENGINEER'S CERTIFICATION AND APPLICANT'S CERTIFICATION HAVE BEEN PROVIDED TO NOEMA AND "FINAL APPROVAL" ISSUED.
- UNDERGROUND UTILITIES SHALL BE INSTALLED UNDERGROUND, EXCEPT WHERE SUCH PLACEMENT IS PROHIBITED OR DEEMED IMPRACTICAL BY THE UTILITY PROVIDER. UNDERGROUND FACILITIES FOR STREET LIGHTING ALONG ALL PUBLIC STREETS ABUTTING THE SUBJECT SITE SHALL BE INSTALLED BY THE DEVELOPER.

**LANDSCAPE NOTES:**

**REFERENCE LANDSCAPE PLAN**

**SITE LIGHTING**

- ALL SITE LIGHTING SHALL BE LOCATED, ANGLED, SHIELDED AND/OR LIMITED IN INTENSITY SO AS TO CAST NO DIRECT LIGHT UPON ADJACENT PROPERTIES. SHALL MINIMIZE OFF-SITE BACKLIGHTING GLARE, AND UP-LIGHTING. LIGHT POST SHALL BE NO TALLER THAN TWELVE (12) FT.

**PARKING NOTES:**

- NO PARKING REQUIRED FOR UNX
- 15 SPACES SHOWN
- BICYCLE PARKING
- 27 SPACES REQUIRED
- PARKING MAXIMUM (32 X 2.5) + (2,878/200) = 94
- 1 HANDICAP SPACE REQUIRED, 1 PROVIDED

**VARIANCE REQUEST**

- VARIANCE REQUEST FOR 75 FT OFFSET FOR DRIVEWAYS ALONG MAJOR THOROUGHFARES

**GENERAL NOTES:**

- NEW HANOVER COUNTY PARCEL NUMBERS:  
 PID = R05407-029-012-000
- TOTAL PROJECT AREA: 28,125 SF (0.65 AC.)
- EXISTING ZONING DISTRICT: UNX
- LAND CLASSIFICATION: URBAN
- THIS SITE IS LOCATED WITHIN ZONE "X" ACCORDING TO FEM FIRM COMMUNITY PANEL NUMBER 3720312700A, EFFECTIVE DATE 4/3/08
- DATE: 4/3/08
- SITE ADDRESS: 514 S. 17TH STREET
- EXISTING IMPERVIOUS ONSITE = 11,180 SF
- AS-BUILT, BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED AND PROVIDED TO CSD ENGINEERING BY CAPE FEAR SURVEYING. VERTICAL DATUM = 88
- STORMWATER DRAINS TO BURNT MILL CREEK, C; SW 18-74-63-2

**CSD ENGINEERING**  
 LICENSE # C-2710  
 ENGINEERING  
 LAND PLANNING  
 COMMERCIAL / RESIDENTIAL  
 P.O. BOX 4041  
 WILMINGTON, NC 28406  
 (910) 791-4441

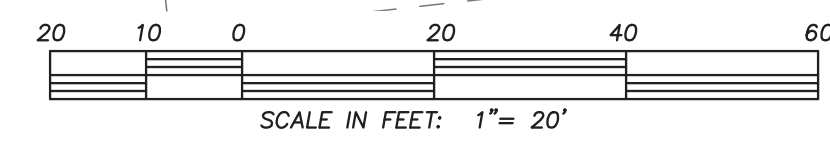
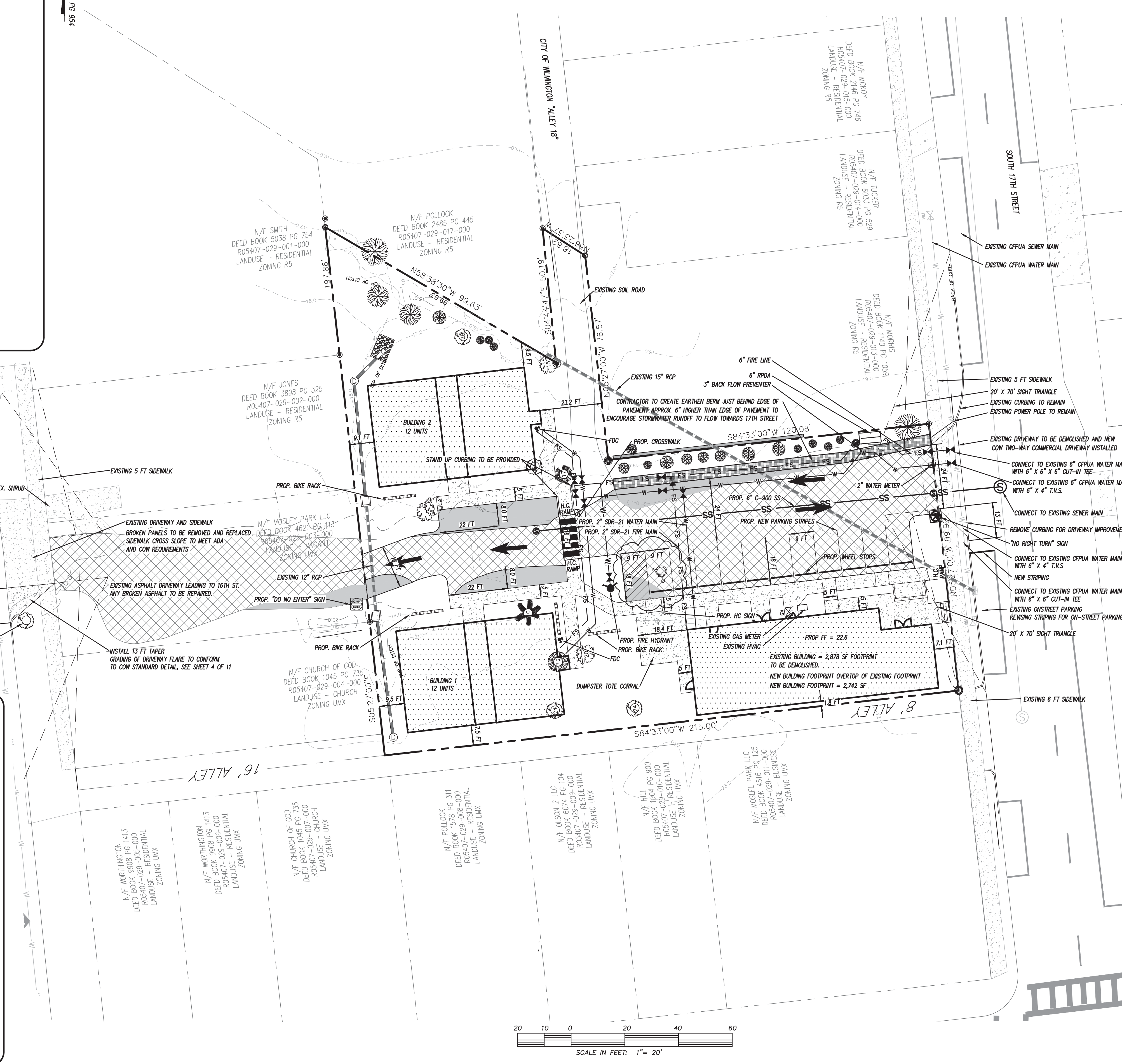
**SITE PLAN FOR STUDIO 17 APARTMENTS**  
 LOCATED IN CITY OF WILMINGTON  
 NEW HANOVER COUNTY, NORTH CAROLINA  
 OWNER: MOSLEY PARK, LLC  
 1319 MILITARY CUTOFF  
 SUITE CC PMB 172  
 WILMINGTON, NC 28405

**SEAL**  
 NOT REDESIGNED  
 2-10-2020  
 FOR CONSTRUCTION

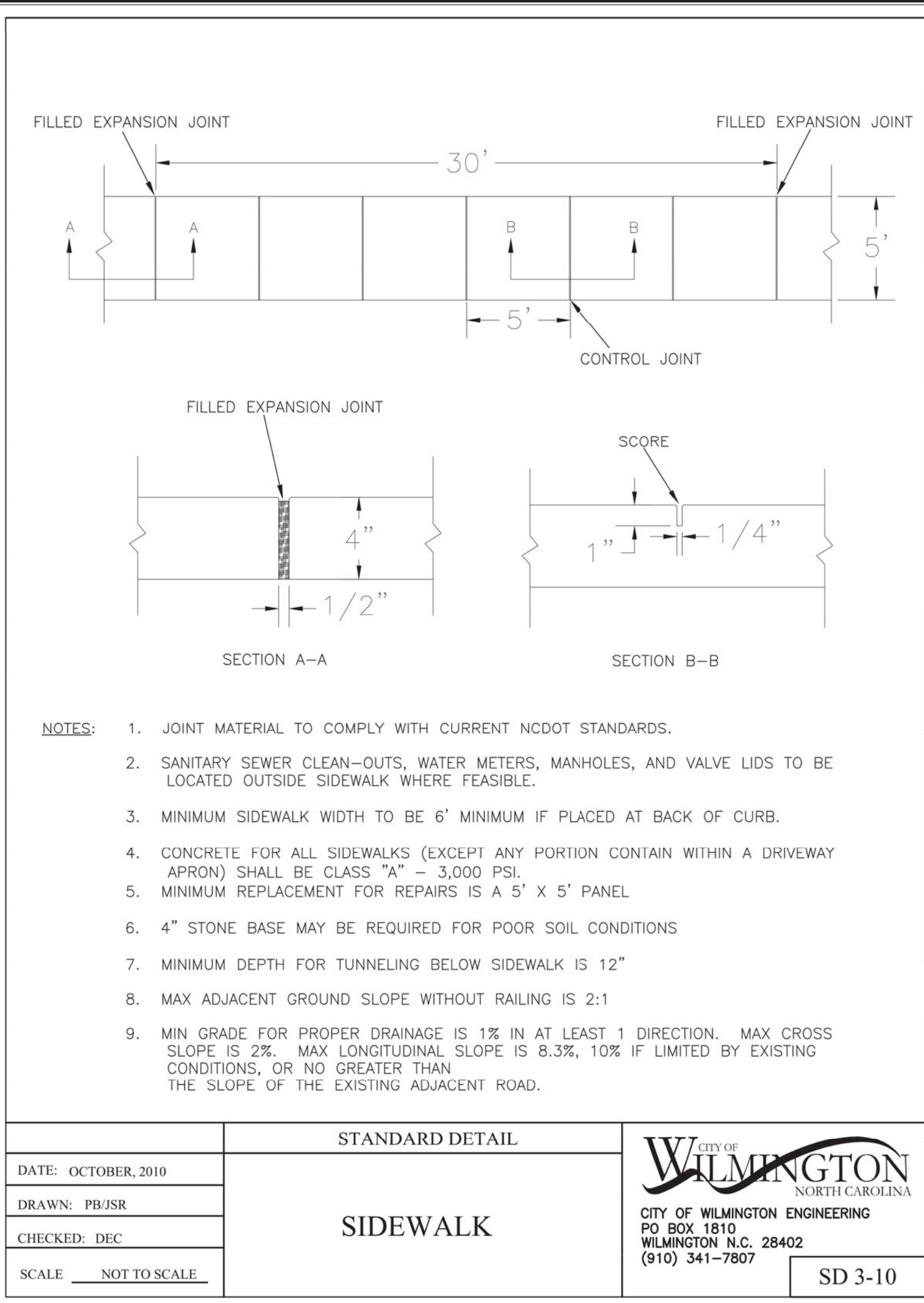
REV	DATE	BY	DATE	REMARKS
1	2-10-20	RLW		
2	5-13-19	MBP		
3	1-18-19	MBP		
4	11-1-18	MBP		
5	10-9-18	MBP		
6	7-11-18	MBP		
7	5-29-18	MBP		
8	5-18-18	MBP		

**LEGEND**

- EXISTING BOUNDARY
- CENTERLINE OF RIGHT OF WAY
- CONTOUR LINE & ELEVATION
- EXISTING SANITARY SEWER & MANHOLE
- EXISTING WATERLINE
- EXISTING FIRE HYDRANT
- EXISTING STORM DRAIN
- EXISTING TREE
- PROP STORM DRAIN
- PROP FIRE HYDRANT
- PROP GATE VALVE
- PROP WATER METER
- PROP SANITARY SEWER & MANHOLE
- PROP WATER MAIN
- EX. ASPHALT TO REMAIN
- PROP BUILDING FOOTPRINT
- PROP ASPHALT
- PROP CONCRETE
- EXISTING CONCRETE

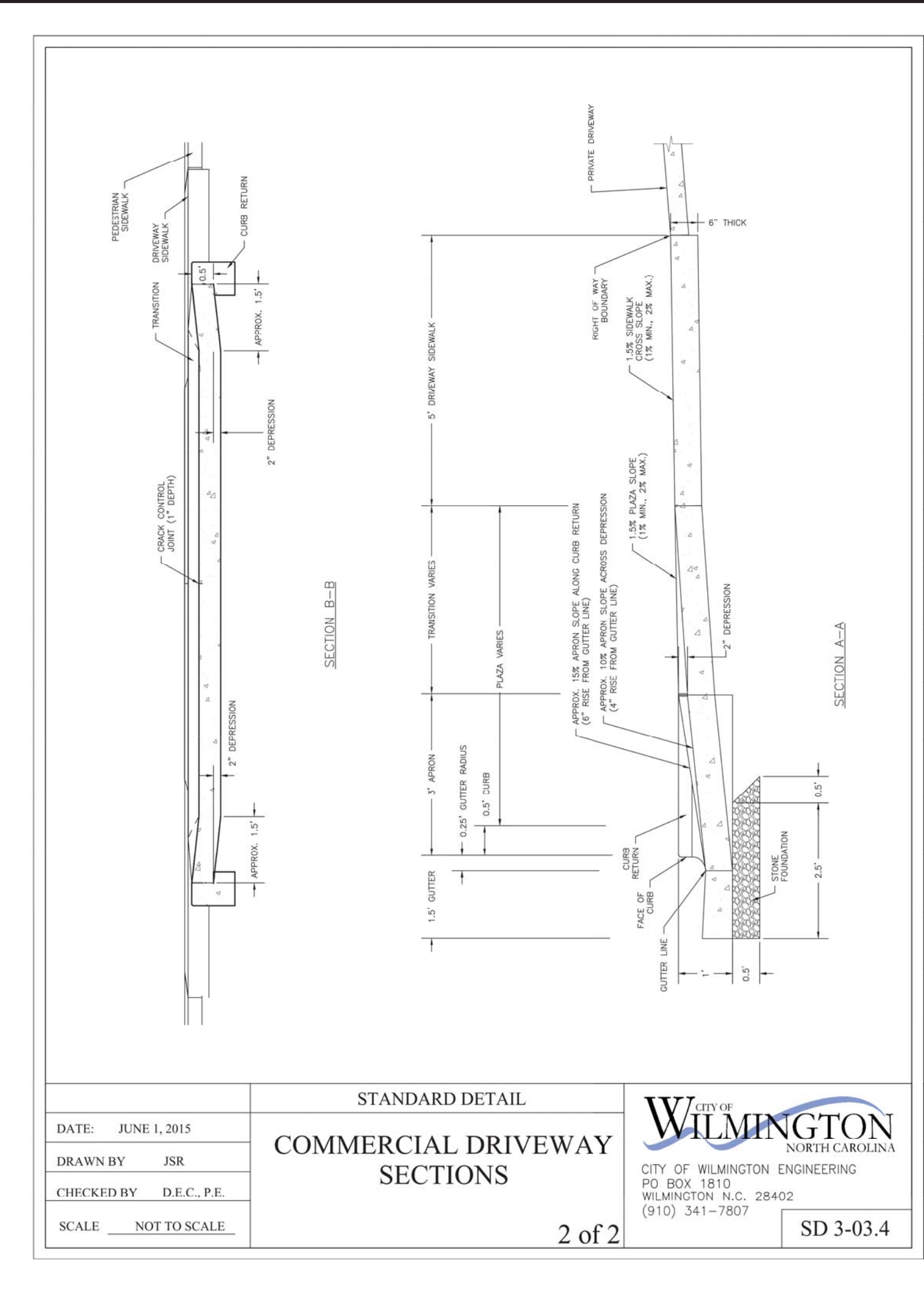






- NOTES:**
1. JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
  2. SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
  3. MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
  4. CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A" - 5,000 PSI.
  5. MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL.
  6. 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS
  7. MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
  8. MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
  9. MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 8.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

DATE: OCTOBER, 2010	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7807</p>	SD 3-10
DRAWN BY: PB/JSR	SIDEWALK		
CHECKED BY: DEC			
SCALE: NOT TO SCALE			



DATE: JUNE 1, 2015	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7807</p>	SD 3-03.4
DRAWN BY: JSR	COMMERCIAL DRIVEWAY SECTIONS		
CHECKED BY: D.E.C., P.E.			
SCALE: NOT TO SCALE			

**Approved Construction Plan**

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

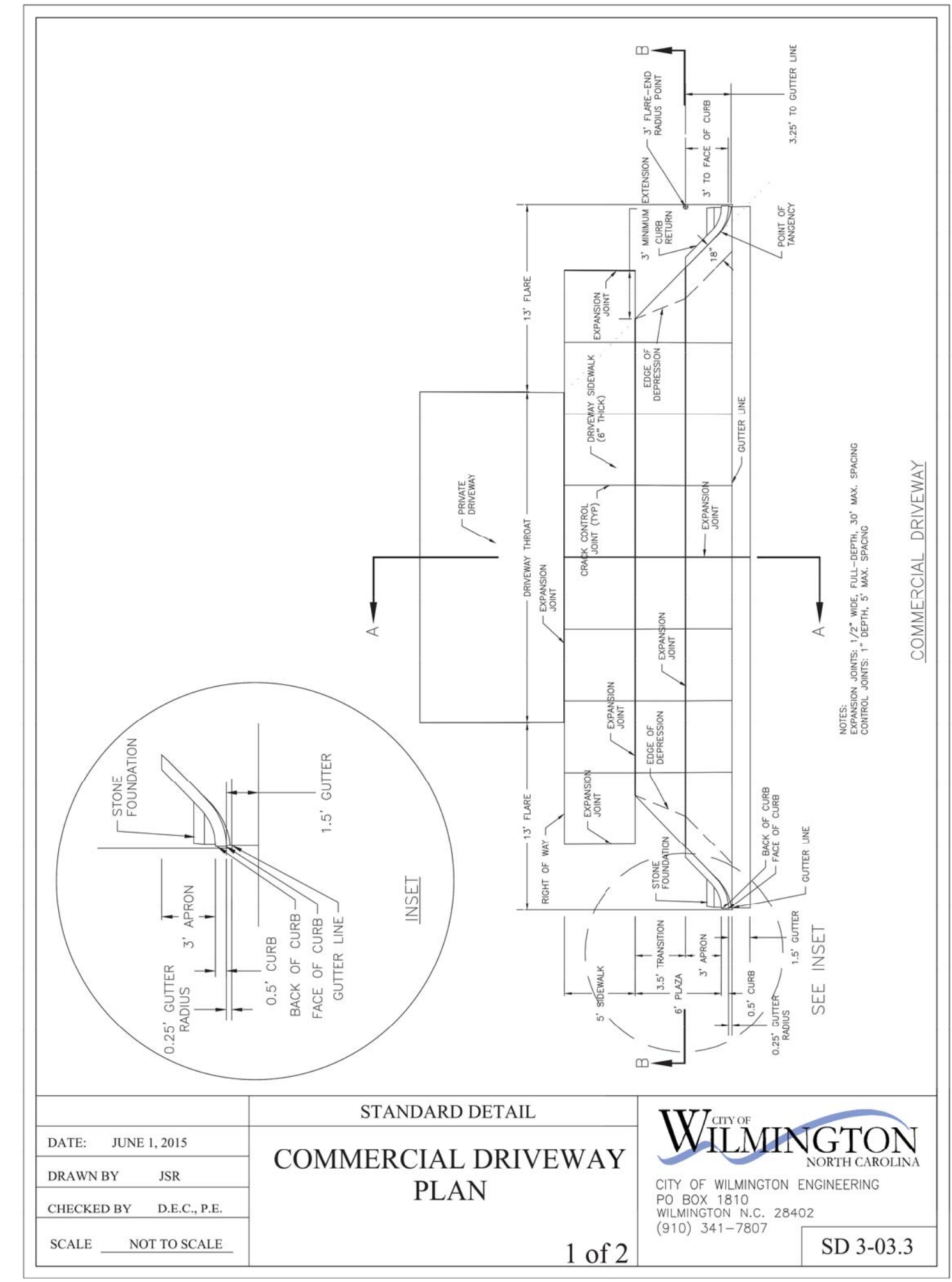
---

Engineering Division  
APPROVED DRAINAGE PLAN

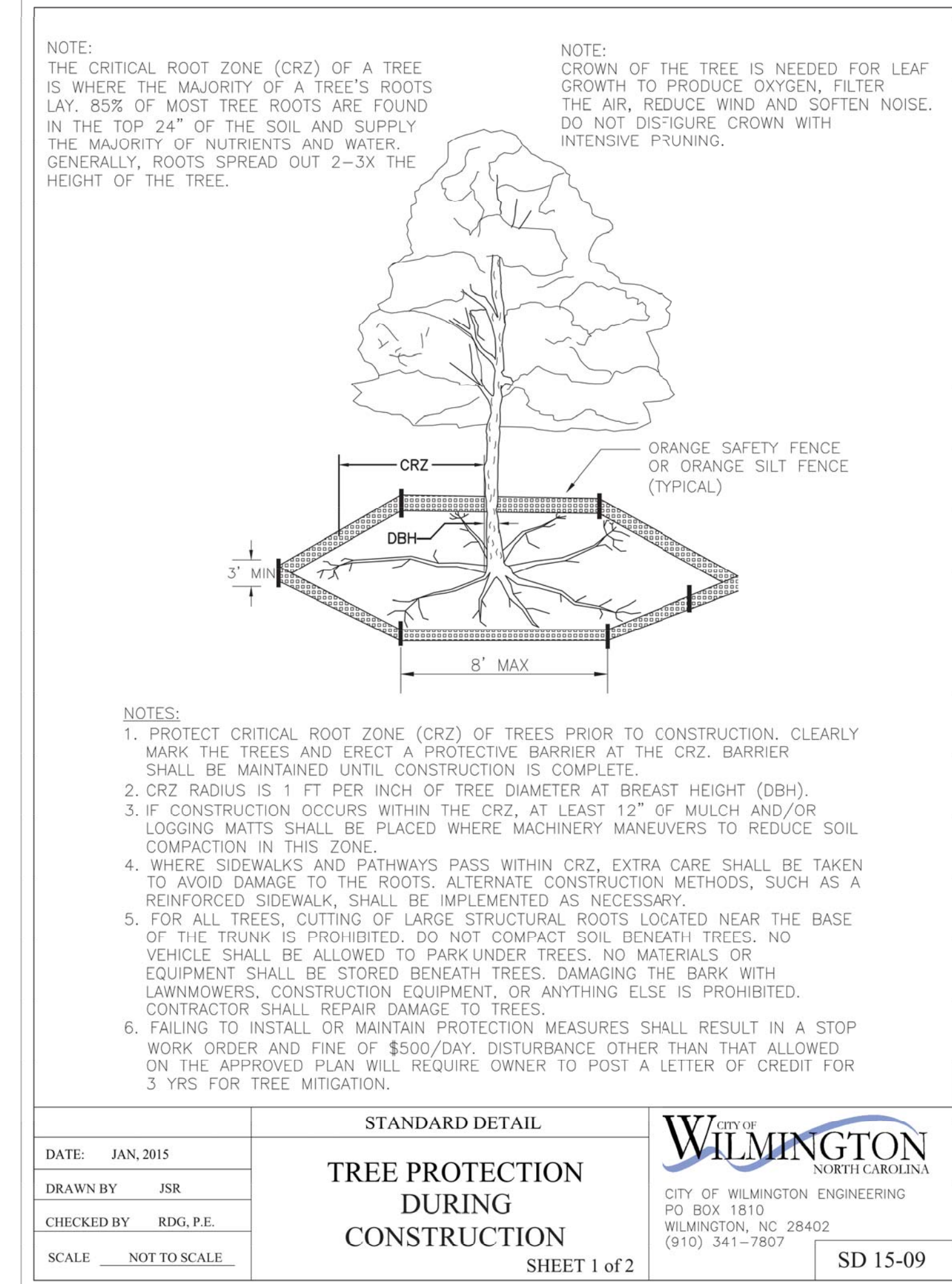
Date: \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

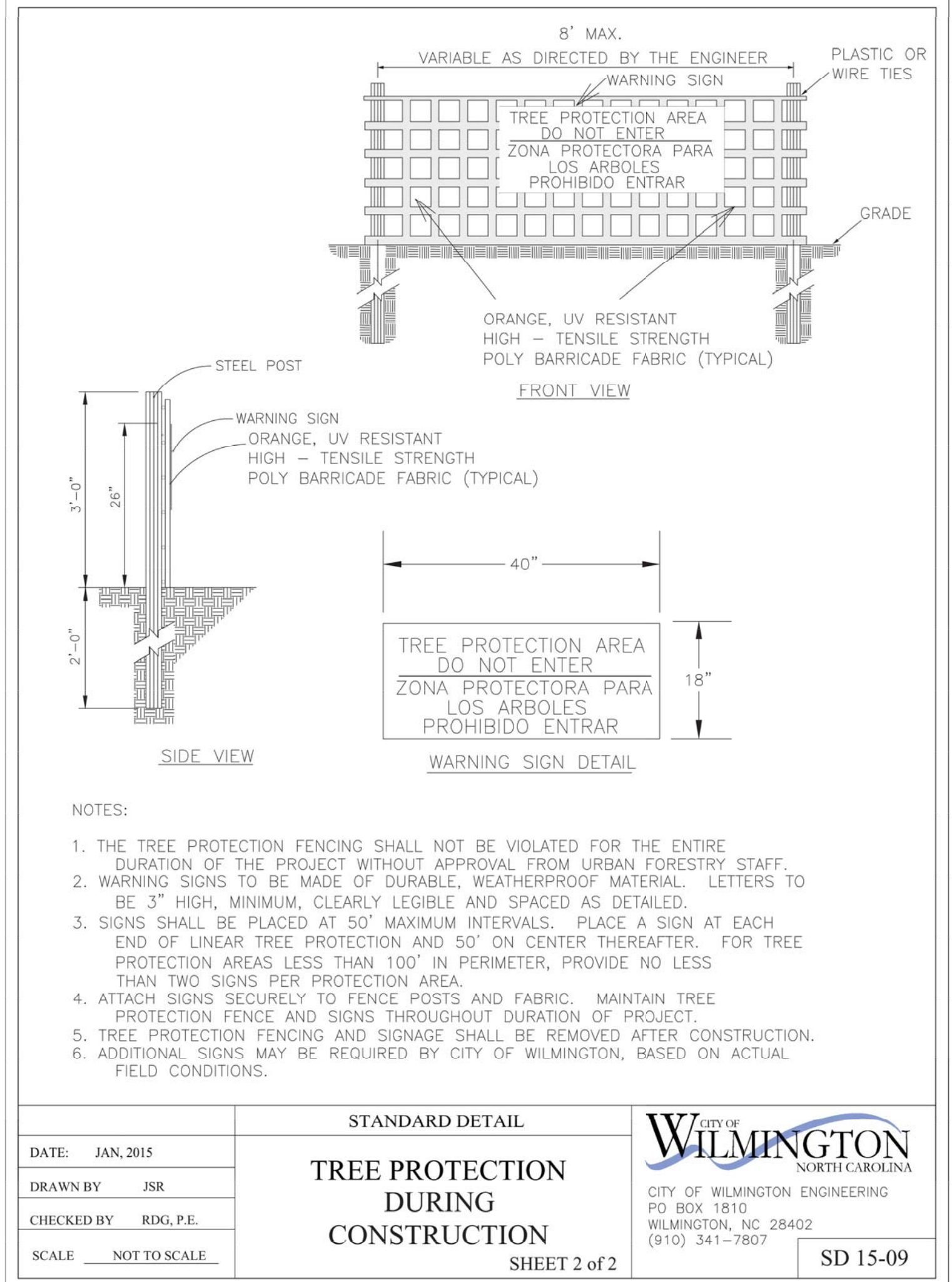


DATE: JUNE 1, 2015	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7807</p>	SD 3-03.3
DRAWN BY: JSR	COMMERCIAL DRIVEWAY PLAN		
CHECKED BY: D.E.C., P.E.			
SCALE: NOT TO SCALE			



- NOTES:**
1. PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
  2. CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
  3. IF CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12" OF MULCH AND/OR LOGGING MATS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
  4. WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
  5. FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO MATERIALS OR EQUIPMENT SHALL BE STORED BENEATH TREES. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
  6. FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY. DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.

DATE: JAN, 2015	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7807</p>	SD 15-09
DRAWN BY: JSR	TREE PROTECTION DURING CONSTRUCTION		
CHECKED BY: RDG, P.E.			
SCALE: NOT TO SCALE			



- NOTES:**
1. THE TREE PROTECTION FENCING SHALL NOT BE VIOLATED FOR THE ENTIRE DURATION OF THE PROJECT WITHOUT APPROVAL FROM URBAN FORESTRY STAFF.
  2. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH, MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
  3. SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS LESS THAN 100' IN PERIMETER, PROVIDE NO LESS THAN TWO SIGNS PER PROTECTION AREA.
  4. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE AND SIGNS THROUGHOUT DURATION OF PROJECT.
  5. TREE PROTECTION FENCING AND SIGNAGE SHALL BE REMOVED AFTER CONSTRUCTION.
  6. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF WILMINGTON, BASED ON ACTUAL FIELD CONDITIONS.

DATE: JAN, 2015	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7807</p>	SD 15-09
DRAWN BY: JSR	TREE PROTECTION DURING CONSTRUCTION		
CHECKED BY: RDG, P.E.			
SCALE: NOT TO SCALE			

**CSD ENGINEERING**

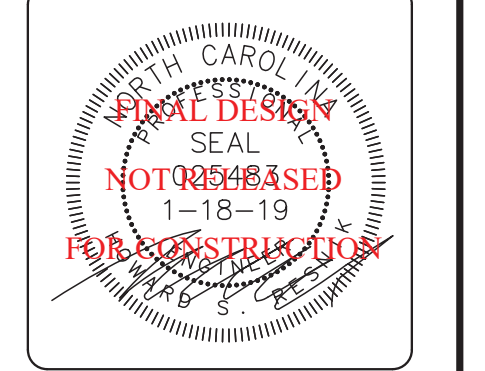
LICENSE # C-2710  
ENGINEERING  
LAND PLANNING  
COMMERCIAL / RESIDENTIAL

P.O. BOX 4041  
WILMINGTON, NC 28406  
(910) 791-4441

SITE PLAN DETAILS  
**STUDIO 17 APARTMENTS**

LOCATED IN CITY OF WILMINGTON  
NEW HANOVER COUNTY, NORTH CAROLINA

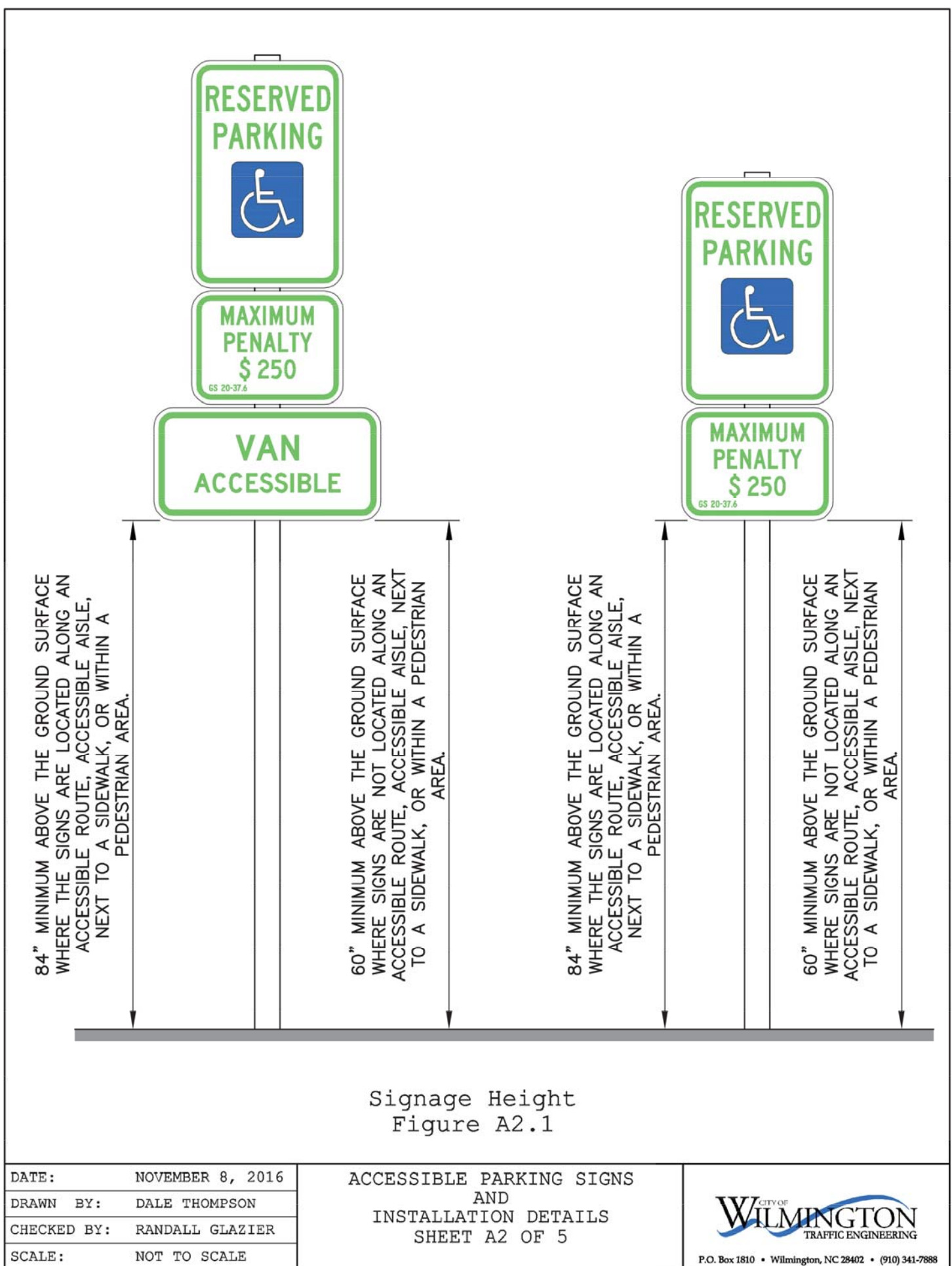
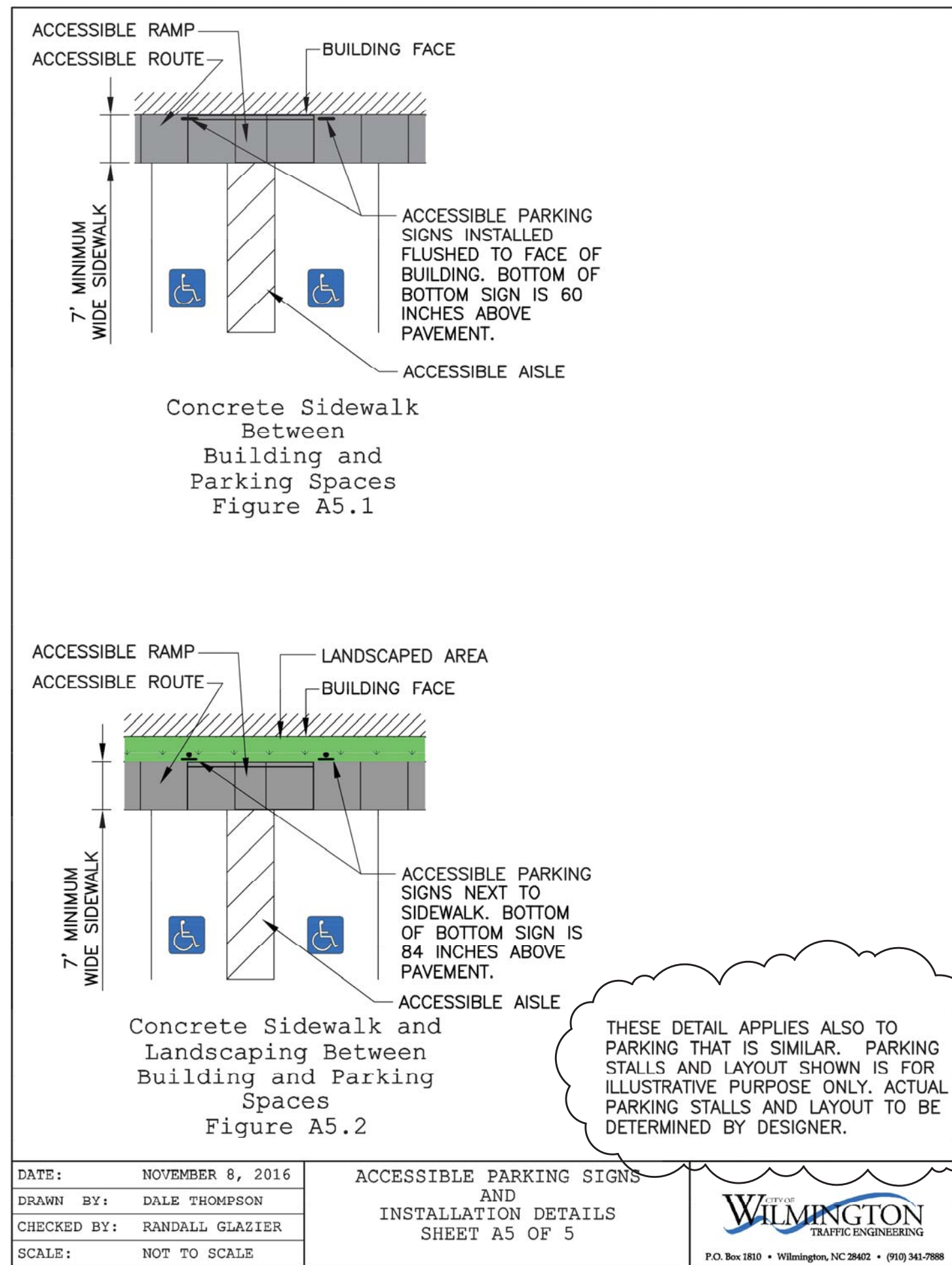
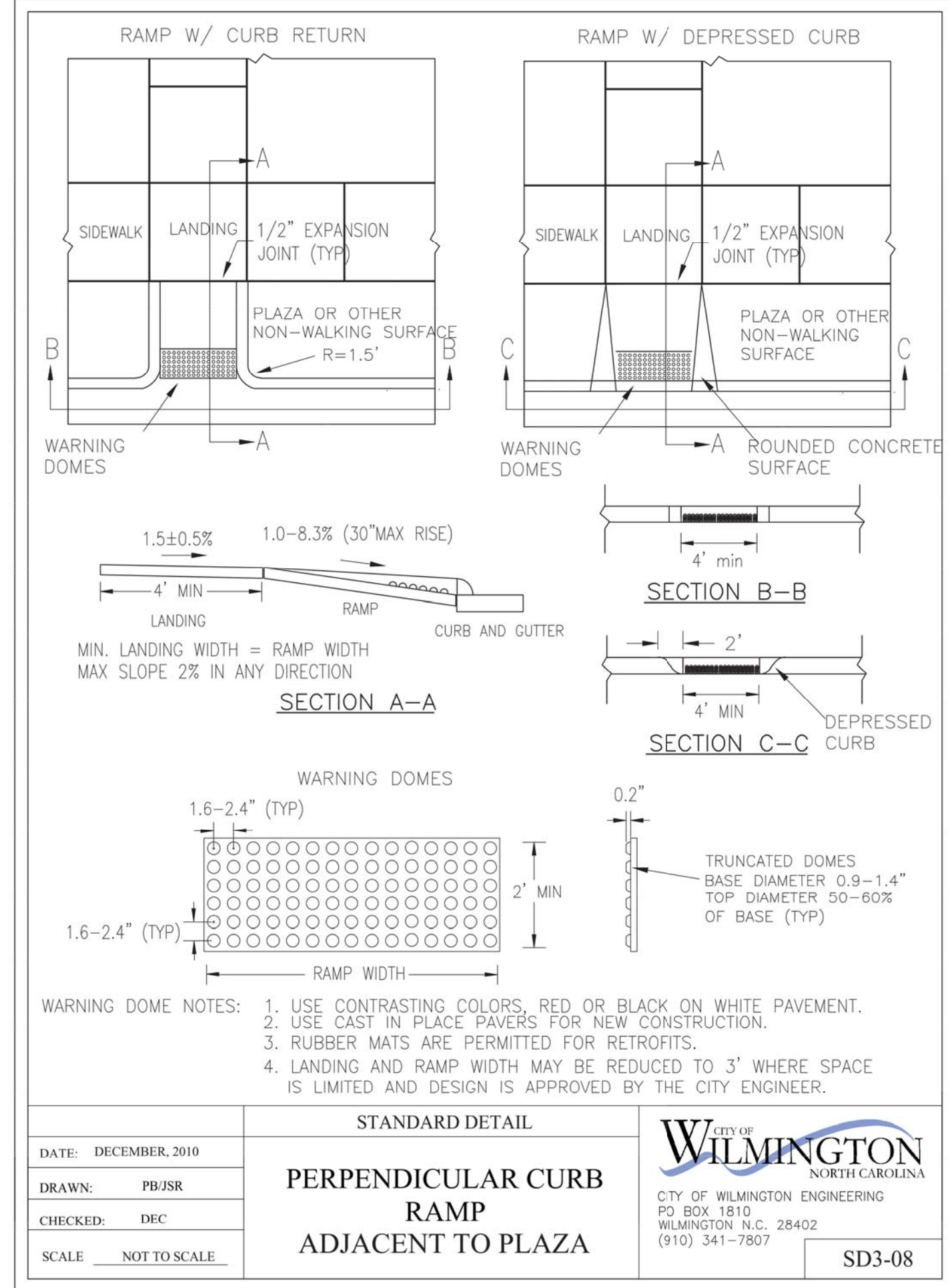
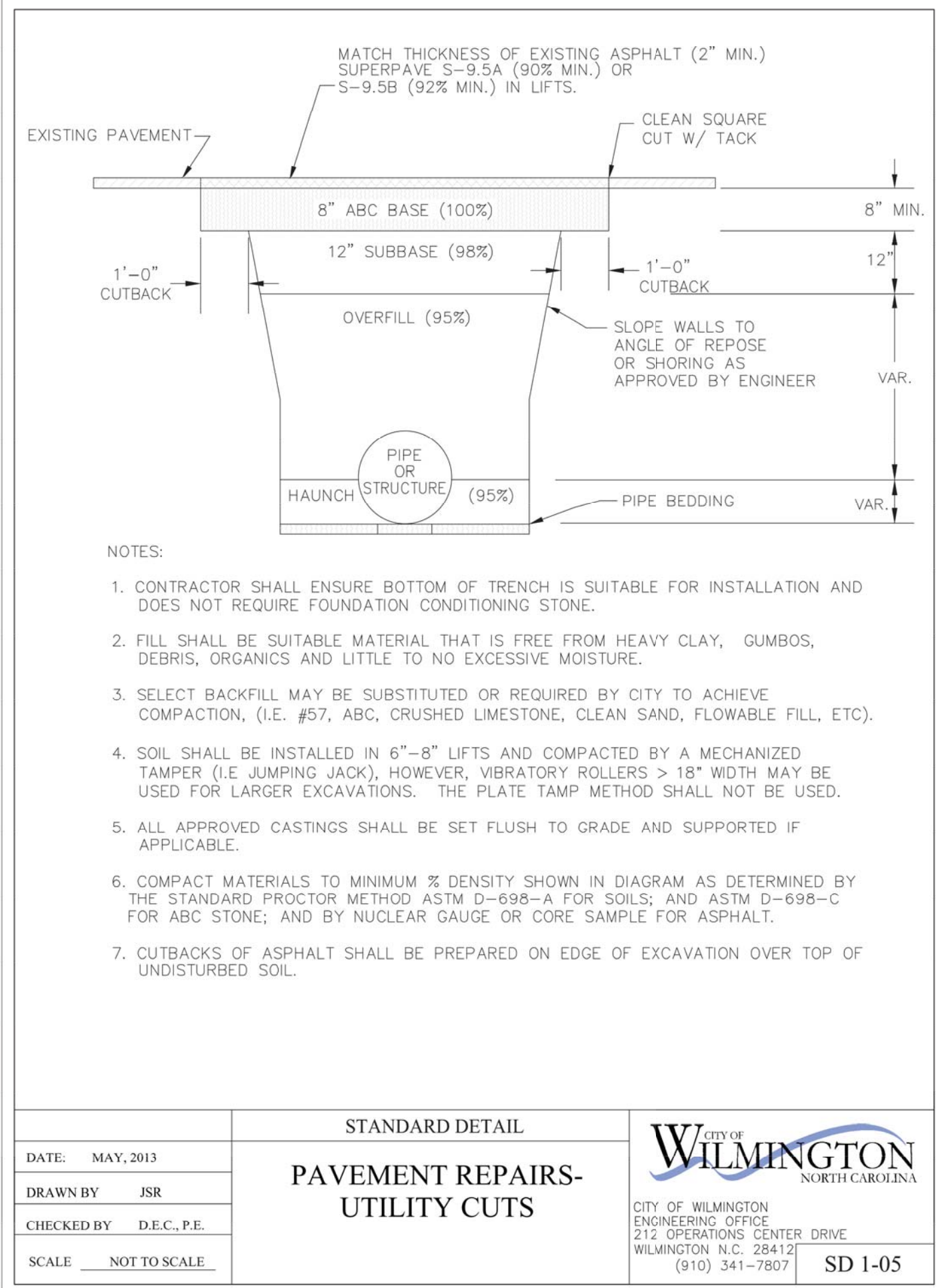
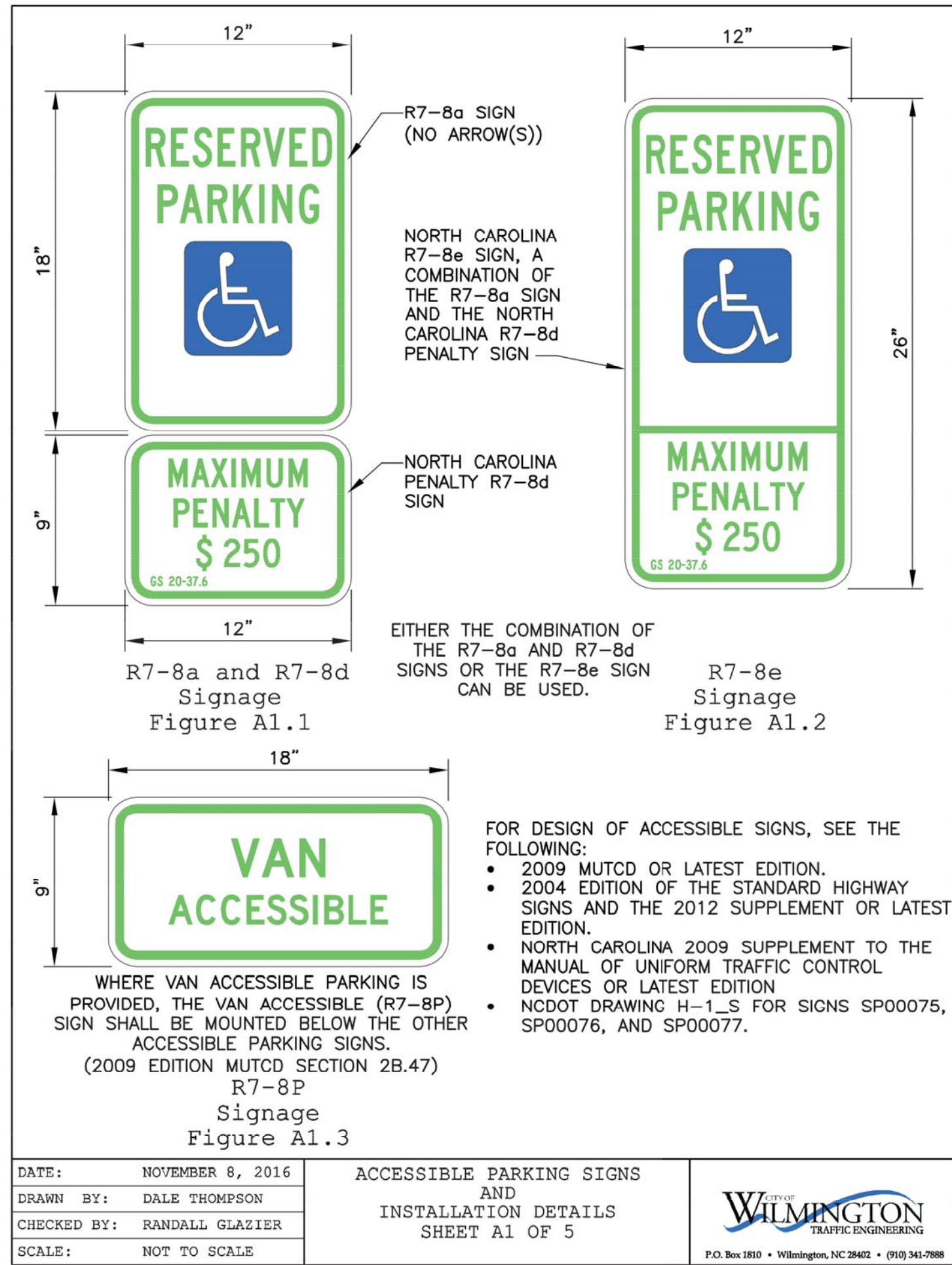
OWNER: MOSLEY PARK, LLC  
1319 MILITARY CUTOFF  
SUITE CC PMB 172  
WILMINGTON, NC 28405



REV.	NO.	REMARKS	DATE
2	1	REVISED SHEET NUMBERING PER NEW CRZ DETAILS	1-18-19
1	1	REVISED PER TRC COMMENTS	3-21-18

DATE: 1-22-18  
HORIZ. SCALE: AS NOTED  
VERT. SCALE: N/A  
DRAWN BY: RLW  
CHECKED BY: HSR  
PROJECT NO.: 17-0434





**Approved Construction Plan**

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Planning: \_\_\_\_\_

Traffic: \_\_\_\_\_

Fire: \_\_\_\_\_

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services Engineering Division  
APPROVED DRAINAGE PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**CSD ENGINEERING**

LICENSE # C-2710  
ENGINEERING  
LAND PLANNING  
COMMERCIAL / RESIDENTIAL

P.O. BOX 4041  
WILMINGTON, NC 28406  
(910) 791-4441

**SITE PLAN DETAILS**  
STUDIO 17 APARTMENTS

**SITE PLAN DETAILS**  
STUDIO 17 APARTMENTS

LOCATED IN CITY OF WILMINGTON  
NEW HANOVER COUNTY, NORTH CAROLINA

OWNER: MOSLEY PARK, LLC  
1319 MILITARY CUTOFF  
SUITE CC PMB 172  
WILMINGTON, NC 28405



REV. NO.	DATE	REMARKS
4	1-18-19	REVISED SHEET NUMBERING PER NEW CPDA DETAILS
3	11-11-18	REVISED PER MHC BUILDING COMMENTS
2	5-7-18	REVISED PER TRC COMMENTS
1	3-21-18	REVISED PER TRC COMMENTS

DATE: 1-22-18  
HORIZ. SCALE: AS NOTED  
VERT. SCALE: N/A  
DRAWN BY: RLW  
CHECKED BY: HSR  
PROJECT NO.: 17-0434











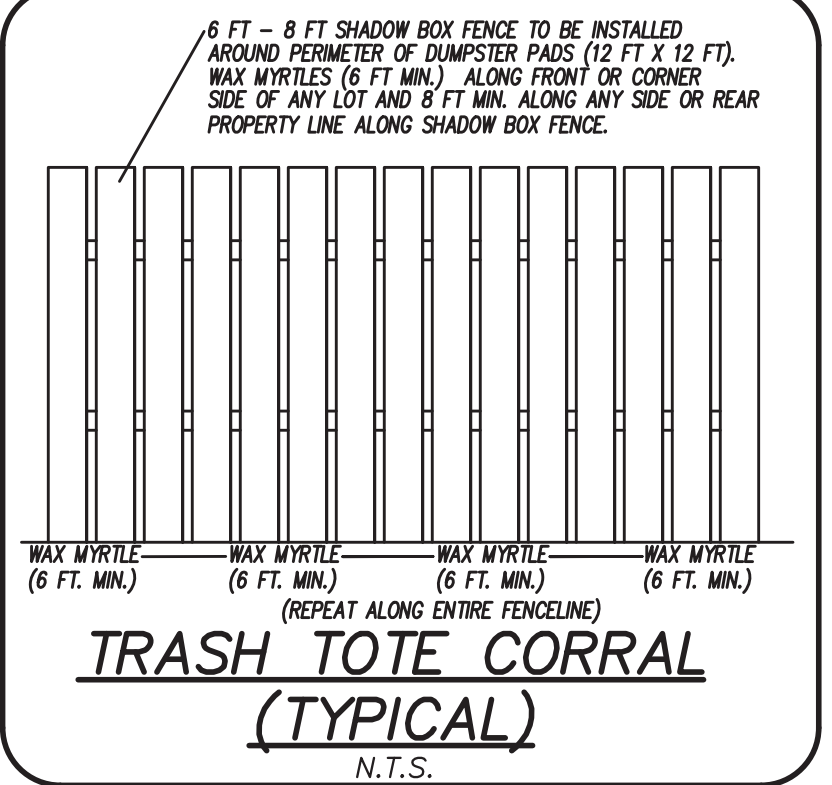
DB 1425 PG 554

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**WILMINGTON**  
NORTH CAROLINA  
Public Services Engineering Division  
APPROVED DRAINAGE PLAN  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

**Approved Construction Plan**  
Name \_\_\_\_\_ Date \_\_\_\_\_  
Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_

**CSD ENGINEERING**  
LICENSE # C-2710  
ENGINEERING  
LAND PLANNING  
COMMERCIAL / RESIDENTIAL  
P.O. BOX 4041  
WILMINGTON, NC 28406  
(910) 791-4441



**LANDSCAPING NOTES:**

**FOUNDATION PLANTINGS**  
NORTH SIDE BUILDING 1  
BUILDING FACE = 1,800 SF  
1,800 X 0.12 = 216 SF REQ'D, 216 SF PROVIDED.  
SOUTH SIDE BUILDING 1  
BUILDING FACE = 1,800 SF  
1,800 X 0.12 = 216 SF REQ'D, 216 SF PROVIDED.  
NORTH SIDE BUILDING 3  
BUILDING FACE = 2,715 SF  
2,715 X 0.12 = 326 SF REQ'D, 336 SF PROVIDED.

**STREET TREES**  
100 - 24 = 76 FT  
76 / 30 = 2.5 STREET TREES REQUIRED  
REQUESTING PAYMENT IN LIEU FOR STREET TREES DUE TO SITE CONSTRAINTS. LESS THAN 3 FT FROM BACK OF CURB TO EXISTING SIDEWALK.

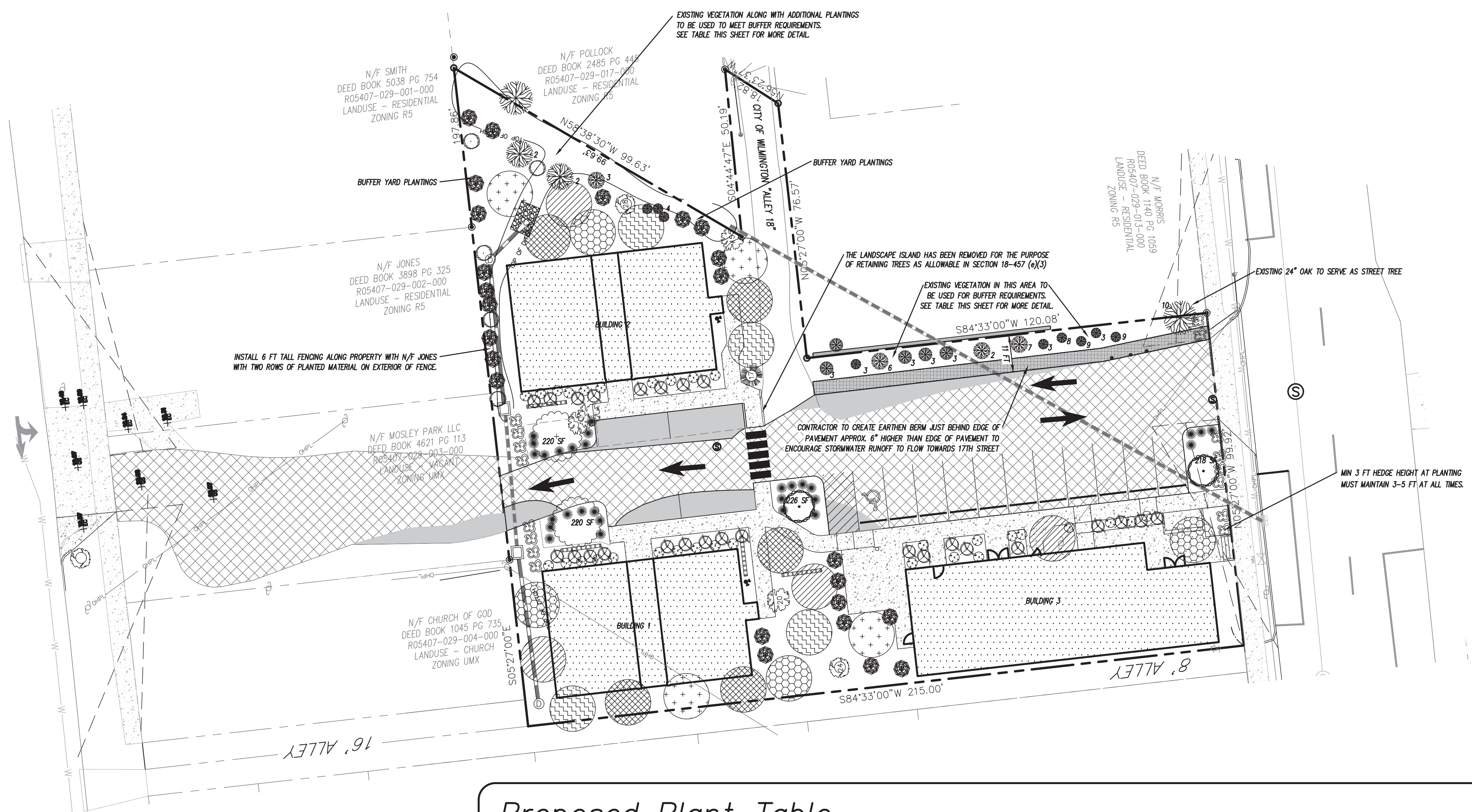
**PARKING LOT SHADING**  
20K SHADING REQ'D FOR PARKING AREAS.  
7,218 PARKING AREA X 20K = 7,218 X .2 = 1,444 SF REQ'D CANOPY - 707 SF FOR CANOPY TREE.

1,444 / 707 = 2.0 OR 2 CANOPY TREES; 2 CANOPY TREES PROVIDED.

**TREE MITIGATION**  
SEE EXISTING CONDITIONS SHEET  
33.6 - 13 = 20.6 MITIGATION TREES REQUIRED.  
21 MITIGATION TREES SHOWN

= MITIGATION TREE (144 SF)  
(HATCH PATTERN VARIES BY SPECIES)

**NOTES:**  
1. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30 INCHES - 10 FT. AT TIME OF PLANTING.  
2. STREET YARD SHRUBS SHALL BE AT LEAST 3 FEET IN HEIGHT AT TIME OF PLANTING.  
3. UNDERSTORY STREET YARD TREES MUST BE 8 - 10 FEET IN HEIGHT AT TIME OF PLANTING.  
4. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES.  
5. ALL LANDSCAPE ISLANDS TO INCLUDE GROUND COVER PLANTINGS.



**EXISTING BUFFER VEGETATION**

ID #	DESCRIPTION
2	OLEANDER
3	LIGUSTRUM
4	POPLAR SHRUBS
6	PECAN TREE
7	14" OAK
8	GRAPE MYRTLE
9	PALM
10	24" LIVE OAK

**NOTE:** APPROXIMATE LOCATION AND DESCRIPTION OF EXISTING VEGETATION PROVIDED TO CSD ENGINEERING BY OWNERS.

**Proposed Plant Table**

SHRUBS					
Quantity	Symbol	Scientific Name	Common Name	Planting Size	Planting Remarks
16		<i>Ilex crenata</i>	STEEDS HOLLY	MIN. 3 FT IN HEIGHT	PARKING AREA SCREENING
INTERIOR PARKING TREE					
Quantity	Symbol	Scientific Name	Common Name	Planting Size	Planting Remarks
2		<i>Ulmus parvifolia</i>	ALLEE ELM	3" DBH	INTERIOR TREE
FOUNDATION PLANTING					
Quantity	Symbol	Scientific Name	Common Name	Planting Size	Planting Remarks
27		<i>Ilex vomitoria</i>	DWARF YAUPON	3 GAL.	FOUNDATION
34		<i>Muhlenbergia capillaris</i>	PINK MUHLY	3 GAL.	FOUNDATION
SHADE TREES					
Quantity	Symbol	Scientific Name	Common Name	Planting Size	Planting Remarks
2		<i>Quercus virginiana</i>	SOUTHERN LIVE OAK	3" DBH	PARKING SHADING
DUMPSTER CORRAL & HVAC SCREENING					
Quantity	Symbol	Scientific Name	Common Name	Planting Size	Planting Remarks
11		<i>Myrica cerifera</i>	WAX MYRTLE	7 Gal.	SCREENING

MITIGATION TREES					
Quantity	Symbol	Scientific Name	Common Name	Planting Size	Planting Remarks
5		<i>Lagerstroemia indica</i>	GRAPE MYRTLE	3" DBH	MITIGATION
4		<i>Carpinus caroliniana</i>	AMERICAN HORNBEAM	3" DBH	MITIGATION
4		<i>Ulmus americana 'Princeton'</i>	PRINCETON ELM	3" DBH	MITIGATION
4		<i>Ulmus propinqua</i>	EMERALD SUNSHINE ELM	3" DBH	MITIGATION
4		<i>Ginkgo biloba (male only)</i>	GINKGO	3" DBH	MITIGATION
BUFFER YARD					
Quantity	Symbol	Scientific Name	Common Name	Planting Size	Planting Remarks
5		<i>Nyssa sylvatica</i>	BLACK GUM	3" DBH	BUFFER YARD
13		<i>Myrica cerifera</i>	WAX MYRTLE	7 Gal.	BUFFER YARD

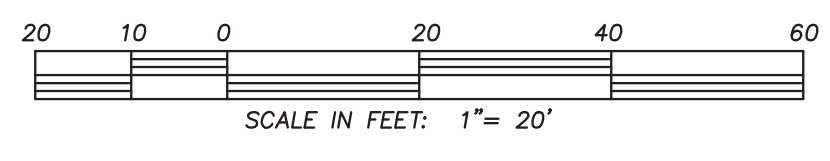
LANDSCAPE PLAN  
**STUDIO 17 APARTMENTS**  
LOCATED IN CITY OF WILMINGTON, NEW HANOVER COUNTY, NORTH CAROLINA  
OWNER: MOSLEY PARK, LLC  
SUITE CC, PMB 172  
WILMINGTON, NC 28405



REV. NO.	DATE	REMARKS
7		
6		REVISED PER SIDEWALK AND BUILDING CHANGES AROUND BLD 3
5		REVISED PER CITY ADRMIST COMMENTS
4		REVISED PER TREE MITIGATION CALC & ADDED TABLE
3		REVISED EXISTING TREES & PROPOSED PLANTINGS
2		REVISED PER TREE COMMENTS
1		REVISED PER TREE COMMENTS

DATE: 3-1-18  
HORZ. SCALE: 1" = 20'  
VERT. SCALE: N/A  
DRAWN BY: RLW  
CHECKED BY: HSR  
PROJECT NO.: 17-0434

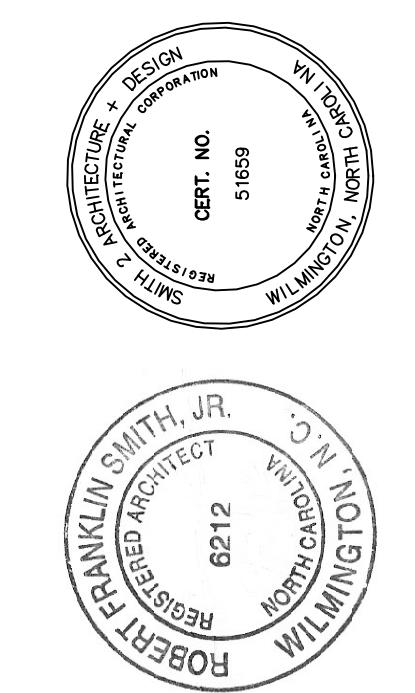
Sheet No. **LP** of **LP**





ALL DRAWINGS AND WRITTEN MATERIALS CONTAINED WITHIN THIS DOCUMENT CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT PRIOR CONSENT OF THE ARCHITECT. COPYRIGHT 2019 SMITH ARCHITECTURE

**Smith**  
ARCHITECTURE + DESIGN  
PO BOX 717 WRIGHTSVILLE BEACH NC 28480



**STUDIO 17 PHASE 2**  
514 S17TH STREET  
WILMINGTON, NC

ISSUED FOR PRICING & PERMITTING  
01-08-20  
MARK DATE REVISION  
1-22-20 SIDING

**A2.0**  
EXTERIOR ELEVATIONS

19-101 A201

METAL GUTTER OVER COMPOSITE FASCIA  
METAL DOWNSPOUT (TYP OF 4)  
BUILDING SIGNAGE (VERIFY REQMENTS) COORDINATE BLOCKING IN EXTERIOR WALL  
(TYP) WINDOW ASSEMBLY: PLYGEM SILVERLINE 2900 SERIES ENERGYSTAR RATING (MINIMUM) STRUCTURAL DETERMINING REQUIRED D.P. RATING

VINYL TRIM 5" LINEAL HEADER 3.5" VERT. LINEAL JAMB  
VINYL SIDING  
5.5" VINYL FEDERAL CORNER

METAL GUTTER OVER COMPOSITE FASCIA  
VERTICAL SIDING  
EXTERIOR COLUMN (PAINT)  
ALUMINUM STOREFRONT  
COMPOSITE PANEL PAINTED

BUILDING SIGNAGE PER OWNER

PRE-FAB EXTERIOR CANOPY (TYP OF 4)

**EXTERIOR FINISHES - STUDIO 17 PHASE 2**  
514 S. 17TH STREET WILMINGTON, NC

	PRODUCT CODE	COLOR
VERTICAL SIDING: HARDI ARTISAN, SQUARE CHANNEL		TBD
VINYL SIDING: CERTAINTEE MAINSTREET SINGLE 8	39104	COLONIAL WHITE
VINYL WINDOW TRIM:		
CERTAINTEE 3 1/2" LINEAL	54104	COLONIAL WHITE
CERTAINTEE 5" LINEAL (HEADER)	54112	COLONIAL WHITE
NEW CONSTRUCTION WINDOW/DOOR STARTER STRIP	53405	NO COLOR
CORNERS		
FEDERAL CORNERS:		
CERTAINTEE 5 1/2" LINEAL	54112	NO COLOR
ALUMINUM STARTER STRIP	53402	COLONIAL WHITE
CERTAINTEE VINYL 2 1/4" STARTER STRIP FOR MAINSTREET	53401	NO COLOR
1/2" J-CANNEL FOR CERTAINTEE MAINSTREET SINGLE 8	50305	COLONIAL WHITE
USE UNDERSILL TRIM WITH MAINSTREET S8 APPLICATION UNDER WINDOWS & DOORS AND ALONG TOP PERIMETER OF BUILDING	54904	COLONIAL WHITE
CERTAINTEE BEADED TRIPLE 2" SOLID STAIR LANDING SOFFIT	44209	COLONIAL WHITE

**EXTERIOR FINISHES**

VERTICAL SIDING	TBD
VINYL SIDING	CERTAINTEE - PLANK W/ 8" EXPOSURE COLOR: TBD
VINYL TRIM	CERTAINTEE - COLOR: TBD
STUCCO	EQUAL TO DRYVIT COLOR - TBD
STANDING SEAM METAL ROOFING	24 GA CORRUGATED GALVALUME FINISH COLOR: TBD
METAL COPING	COLORKAD - COLOR: TBD
METAL FLASHING	COLORKAD - COLOR: TBD
ALUM. GUTTERS & DOWNSPOUTS	MFR. COLOR: TBD (GUTTERS) DOWNSPOUTS: COLOR: TBD
ENTRY DOOR & FRAME	MFR - COLOR: TBD
COMPOSITE TRIM	JAMES HARDIE OR APPROVED EQUAL COLOR: TBD
COMPOSITE PANEL	JAMES HARDIE OR APPROVED EQUAL COLOR: TBD
PVC BEADBOARD	CERTAINTEE - RESTORATION MILLWORK CELLULAR PVC; COLOR: TBD

**EXTERIOR MATERIALS NOTES**

PROVIDE MIN 24"X24" STUCCO COLOR AND FINISH SAMPLE FOR APPROVAL  
PROVIDE ALL METAL COLOR SAMPLES FOR APPROVAL

EXTERIOR PAINT SCHEDULE			
NO.	MANUFACTURER	COLOR - #	NOTES
P-1	SHERWIN WILLIAMS	TBD	
P-2	BENJAMIN MOORE	TBD	

**SIDE ELEVATION B**  
SCALE 1/4" = 1'-0" A2.0

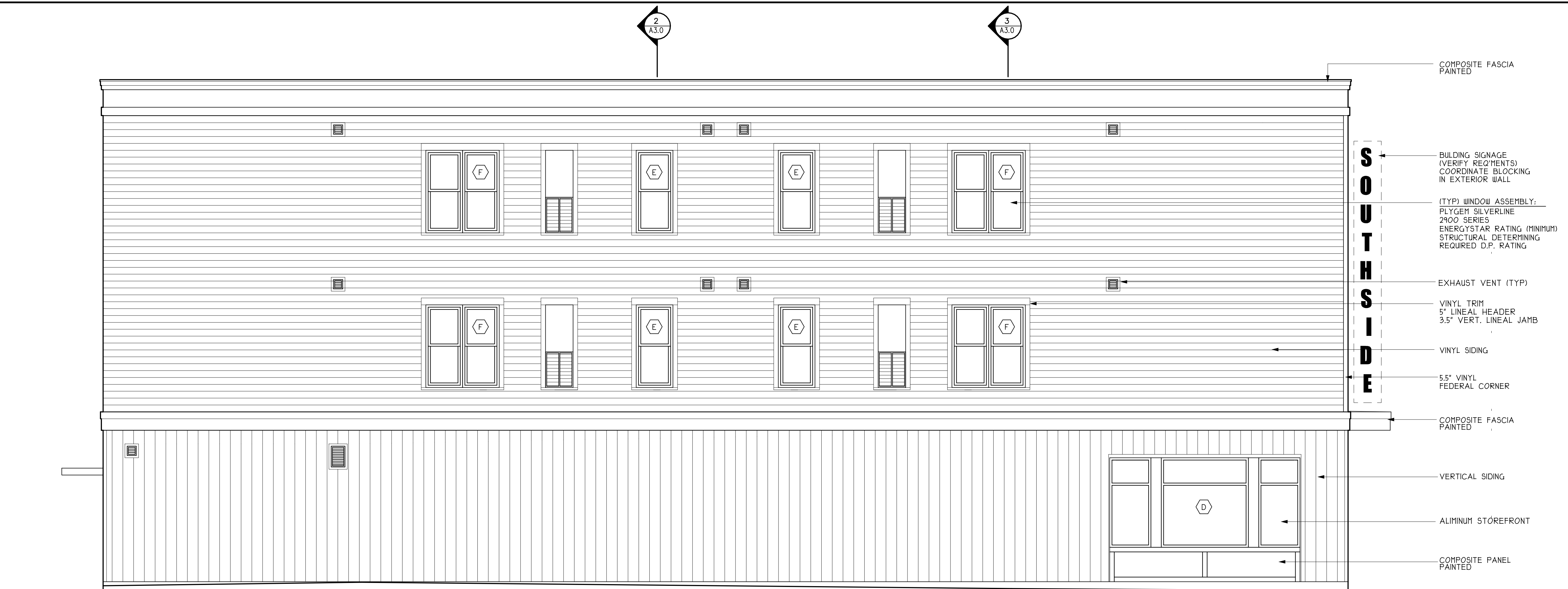
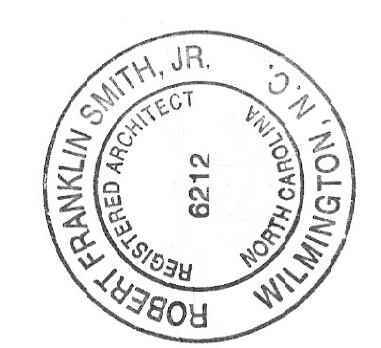
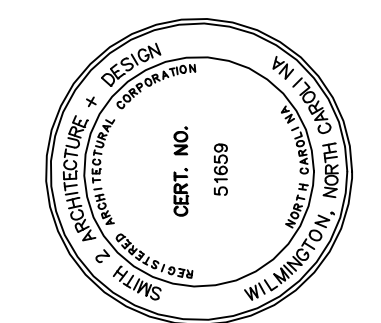


**FRONT ELEVATION A**  
SCALE 1/4" = 1'-0" A2.0

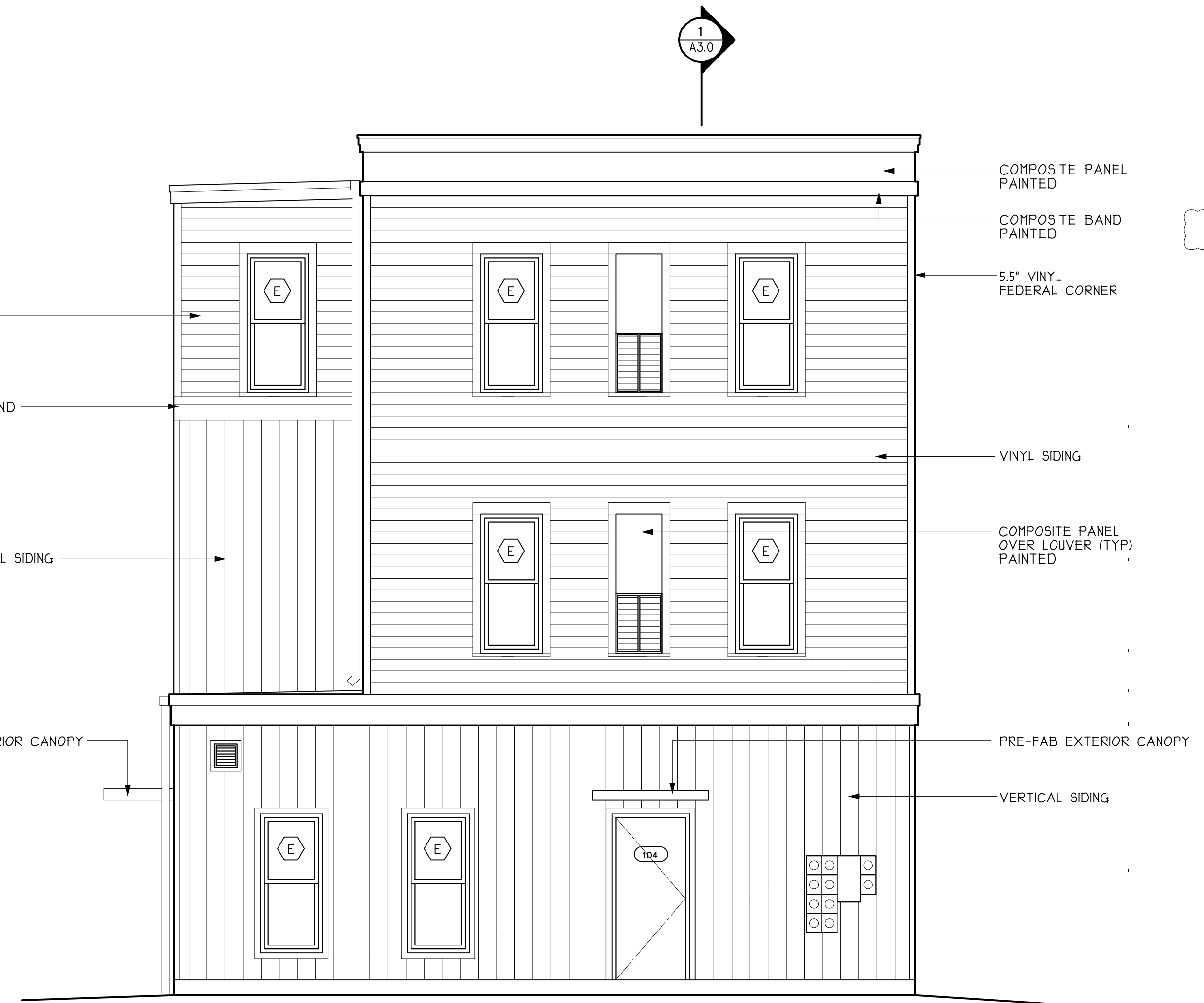


ALL DRAWINGS AND WRITTEN MATERIALS CONTAINED WITHIN THIS DOCUMENT CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND SHALL NOT BE REPRODUCED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. COPYRIGHT 2019 SMITH ARCHITECTURE

**Smith**  
ARCHITECTURE + DESIGN  
PO BOX 717 WRIGHTSVILLE BEACH NC 28480



**SIDE ELEVATION C**  
SCALE 1/4" = 1'-0" A2.1



**REAR ELEVATION D**  
SCALE 1/4" = 1'-0" A2.1

**EXTERIOR FINISHES - STUDIO 17 PHASE 2**  
514 S. 17TH STREET WILMINGTON, NC

	PRODUCT CODE	COLOR
VERTICAL SIDING: HARDI ARTISAN, SQUARE CHANNEL		TBD
VINYL SIDING: CERTAINTED MAINSTREET SINGLE 8	39104	COLONIAL WHITE
VINYL WINDOW TRIM:		
CERTAINTED 3 1/2" LINEAL	54104	COLONIAL WHITE
CERTAINTED 5" LINEAL (HEADER)	54112	COLONIAL WHITE
NEW CONSTRUCTION WINDOW/DOOR STARTER STRIP	53405	NO COLOR
CORNERS		
FEDERAL CORNERS:		
CERTAINTED 5 1/2" LINEAL	54112	
ALUMINUM STARTER STRIP	53402	
CERTAINTED VINYL 2 1/4" STARTER STRIP FOR MAINSTREET	53401	NO COLOR
1/2" J-CHANNEL FOR CERTAINTED MAINSTREET SINGLE 8	50305	COLONIAL WHITE
USE UNDERSILL TRIM WITH MAINSTREET S8 APPLICATION		
UNDER WINDOWS & DOORS AND ALONG TOP PERIMETER OF BUILDING	54904	COLONIAL WHITE
CERTAINTED BEADED TRIPLE 2" SOLID STAIR LANDING SOFFIT	46209	COLONIAL WHITE

**EXTERIOR FINISHES**

VERTICAL SIDING:	TBD
VINYL SIDING:	CERTAINTED - PLANK 3/8" EXPOSURE COLOR: TBD
VINYL TRIM:	CERTAINTED - COLOR: TBD
STUCCO:	EQUAL TO DRYVIT COLOR - TBD
STANDING SEAM METAL ROOFING:	24 GA CORRUGATED GALVALUME FINISH COLOR: TBD
METAL COPING:	COLORKLAD - COLOR: TBD
METAL FLASHING:	COLORKLAD - COLOR: TBD
ALUM. GUTTERS & DOWNSPOUTS:	MFR. COLOR: TBD (GUTTERS) DOWNSPOUTS: COLOR: TBD
ENTRY DOOR & FRAME:	MFR - COLOR: TBD
COMPOSITE TRIM:	JAMES HARDIE OR APPROVED EQUAL COLOR: TBD
COMPOSITE PANEL:	JAMES HARDIE OR APPROVED EQUAL COLOR: TBD
PVC BEADBOARD:	CERTAINTED - RESTORATION MILLWORK CELLULAR PVC; COLOR: TBD

**EXTERIOR MATERIALS NOTES**  
PROVIDE MIN 24"x24" STUCCO COLOR AND FINISH SAMPLE FOR APPROVAL  
PROVIDE ALL METAL COLOR SAMPLES FOR APPROVAL

**EXTERIOR PAINT SCHEDULE**

NO.	MANUFACTURER	COLOR - #	NOTES
P-1	SHERWIN WILLIAMS	TBD	
P-2	BENJAMIN MOORE	TBD	

**STUDIO 17 PHASE 2**  
514 S17TH STREET  
WILMINGTON, NC

ISSUED FOR PRICING & PERMITTING  
01-08-20  
MARK DATE REVISION  
1-22-20 SIDING

**A2.1**  
EXTERIOR ELEVATIONS